

C8

SIGNAGE

C8 Signage

Application

- This Part applies to development that is defined as *signage*

Objectives – Restricted Premises

- | | | |
|------|---------|---|
| C8.A | General | ▪ To ensure <i>signage</i> is complimentary to its surroundings |
|------|---------|---|

Requirements – Restricted Premises

C8.1	PSLEP 2013	▪ PSLEP 2013 Schedule 2 Exempt Development details what signage is defined as <i>exempt development</i>
C8.2	Integration	▪ <i>Signage</i> is integrated with the building facade
C8.3	Types of Signage	▪ The following types of signage are generally not supported: <ul style="list-style-type: none"> • Flashing signs <ul style="list-style-type: none"> ◦ Flashing signs may be permitted in the road reserve if the text is a road safety message • Roof signs • Vehicular signs where the primary use of the vehicle is for advertising. • Above awning signs • Anchored balloons or airborne signs • Inflatable signs • Hoarding signs

D

SPECIFIC AREAS

D Specific Areas

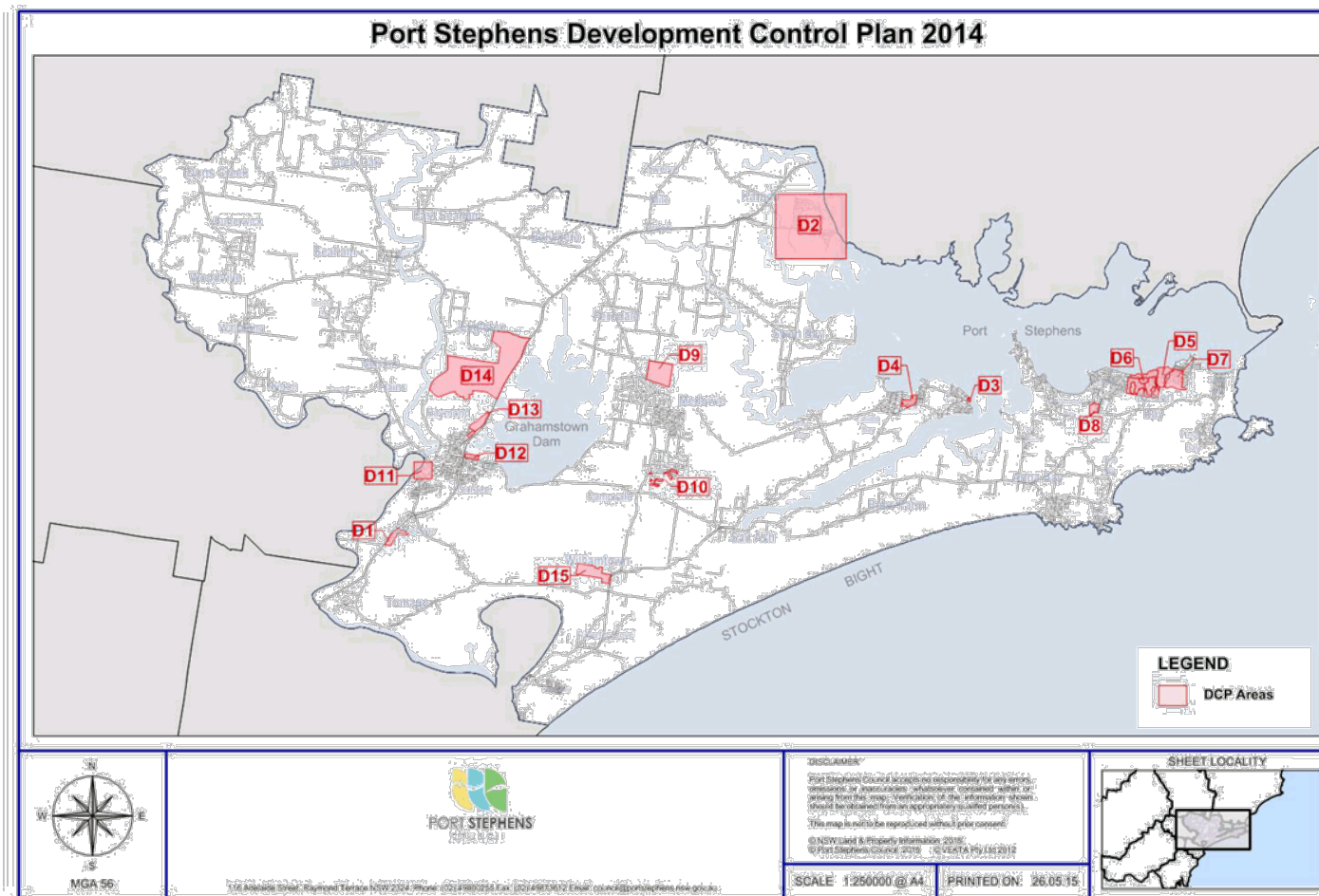
The Parts listed in the table below apply to development proposed within the relevant Land Application Map (p. D-99).

D Specific Areas			
No	Part	This Part applies to development that:	Page
D1	Heatherbrae Industrial	▪ situated within Heatherbrae Industrial	D- 100
D2	Karuah	▪ situated within Karuah	D- 103
D3	Lemon Tree Passage	▪ situated within Lemon Tree Passage	D- 107
D4	Koala Bay - Tanilba Bay	▪ situated within Koala Bay –Tanilba Bay	D- 111
D5	Nelson Bay Centre	▪ situated within Nelson Bay Centre	D- 112
D6	Nelson Bay West	▪ situated within Nelson Bay West	D- 120
D7	Seabreeze Estate – Nelson Bay	▪ situated within Seabreeze Estate – Nelson Bay	D- 121
D8	Salamander Bay Shopping Centre – Nelson Bay	▪ situated within Salamander Bay – Nelson Bay	D- 127
D9	North Medowie - Medowie	▪ situated within North Medowie	D- 129
D10	Pacific Dunes - Medowie	▪ situated within Pacific Dunes - Medowie	D- 134
D11	Raymond Terrace Centre	▪ situated within Raymond Terrace Centre	D- 141
D12	Richardson Rd – Raymond Terrace	▪ situated within Richardson Rd – Raymond Terrace	D- 145
D13	Rees James Rd – Raymond Terrace	▪ situated within Rees James Rd – Raymond Terrace	D- 149
D14	Kings Hill – Raymond Terrace	▪ situated within Kings Hill – Raymond Terrace	D- 151
D15	William Defence and Airport Related Employment Zone	▪ situated within Williamtown Defence and Airport Related Employment Zone (<i>DAREZ</i>)	D- 167

D

SPECIFIC AREAS

Figure DA:
D Specific
Areas -
Land
Application
Map



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D1

HEATHERBRAE INDUSTRIAL

D1 Heatherbrae Industrial**Application**

- This Part applies to the land identified as Heatherbrae Industrial

Objectives

- | | | |
|------|----------------|---|
| D1.A | Setback | <ul style="list-style-type: none"> ▪ To ensure <i>development</i> does not impact on the safe operation of the Pacific Hwy |
|------|----------------|---|

Requirements

- | | | |
|------|---------------------------------------|--|
| D1.1 | Pacific Highway Setback & Landscaping | <ul style="list-style-type: none"> ▪ Provide a minimum 10m front setback from the Pacific Highway <i>road reserve</i> ▪ Provide 5m landscaping from the <i>building line or setback</i> and define this as a restriction to user under clause 88D of the Conveyancing Act 1919 <p>Note: C3.5 (p. C-79) requires a maximum front setback of 6m from the front property boundary or the existing <i>average building line</i></p> |
|------|---------------------------------------|--|

Objectives

- | | | |
|------|----------------------|--|
| D1.B | Street Layout | <ul style="list-style-type: none"> ▪ To ensure a permeable and connected street network with safe access from the Pacific Hwy |
|------|----------------------|--|

Requirements

- | | | |
|------|---------------|--|
| D1.2 | Street Layout | <ul style="list-style-type: none"> ▪ Street layout adheres with Figure DC (p. C-102) ▪ Access to the Pacific Highway is restricted to those two intersections identified on Figure DC (p. C-102) <ul style="list-style-type: none"> • The northern access point incorporates full vehicle movements, and the southern access point provides left in/left out movements ▪ Internal intersections contain concrete mediums with either a give-way or stop treatment <p>Note: C1.6 (p. C-66) ensures the street layout adheres to the <i>infrastructure specific –design</i>¹¹</p> |
|------|---------------|--|

Objectives

- | | | |
|------|-----------------|---|
| D1.C | Drainage | <ul style="list-style-type: none"> ▪ To mitigate potential negative impacts on water quality |
|------|-----------------|---|

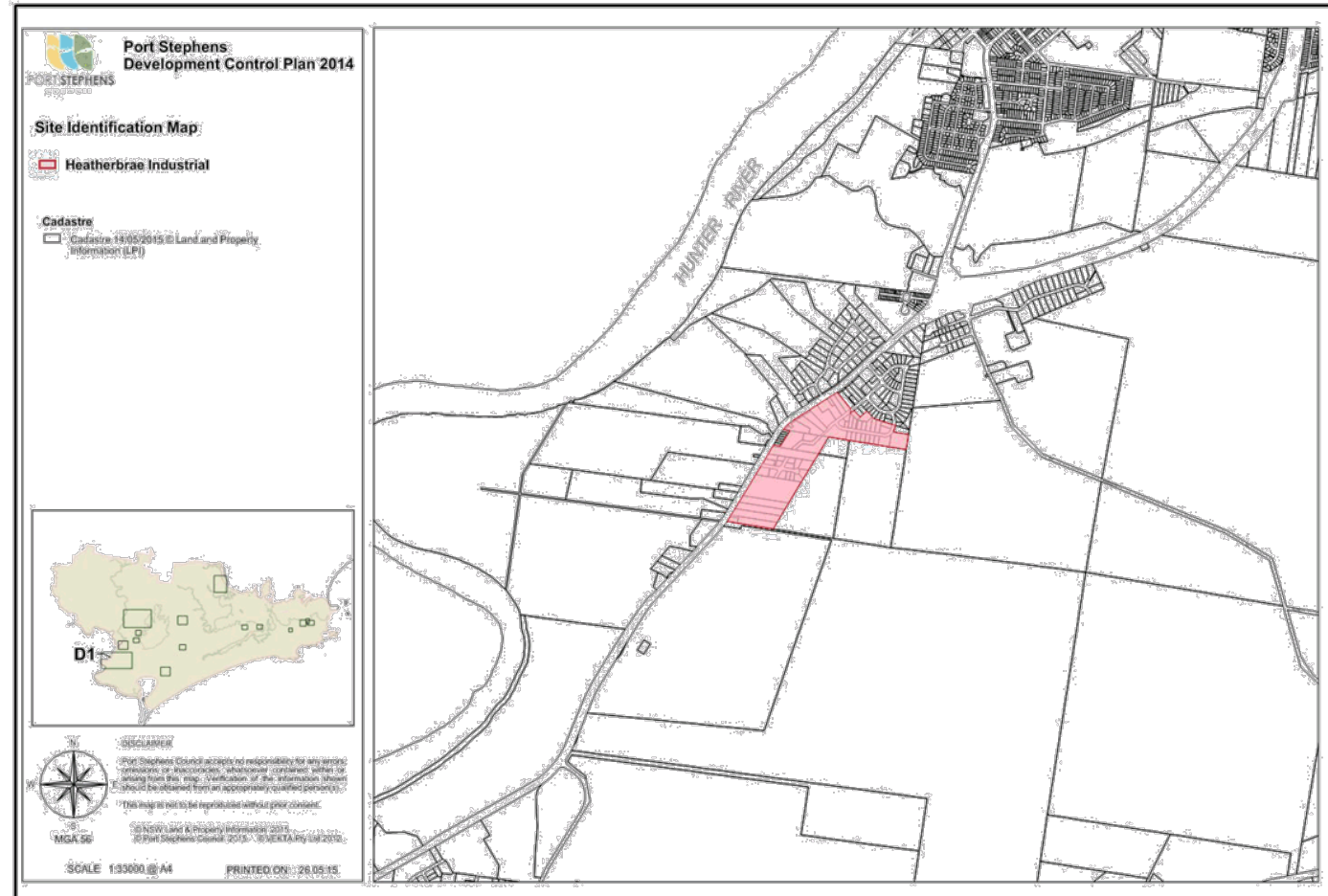
Requirements

- | | | |
|------|--------------------------------|---|
| D1.3 | Water Quality Control Measures | <ul style="list-style-type: none"> ▪ Water quality measures comply with the Hunter Water (Special Areas) Regulation 2003 given its location within the Tomago Sandbeds Catchment. <p>Note: B4.3 (p. B-29) requires development to provide water quality measures to provide further guidance to PSLEP 2013 Clause 7.8, 7.9 and 7.10</p> |
|------|--------------------------------|---|

D1

HEATHERBRAE INDUSTRIAL

Figure DB:
Heatherbrae
Industrial
Land
Application
Map

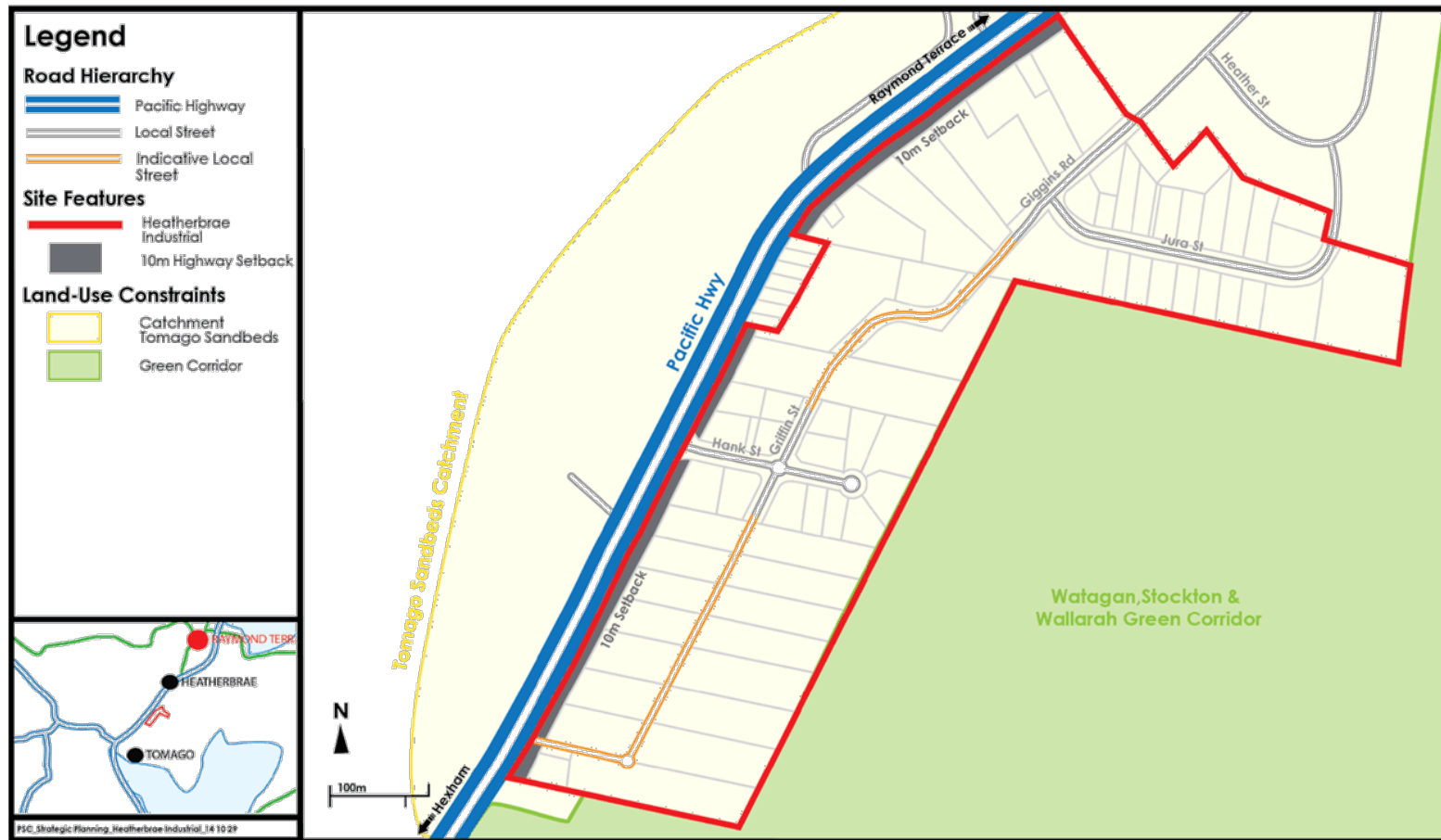


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D1

HEATHERBRAE INDUSTRIAL

Figure DC: Heatherbrae Industrial Locality Controls Map



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D2

KARUAH

D2 Karuah

Application		
<ul style="list-style-type: none"> This Part applies to the land identified as Karuah 		
Objectives		
D2.A	Staging	<ul style="list-style-type: none"> To ensure the Karuah Growth Strategy informs <i>subdivision</i> through adherence to the staging plan
Requirements		
D2.1	Staging	<ul style="list-style-type: none"> Staging of residential <i>subdivision</i> is consistent with Figure DE (p. D-106) <p>Note: PSLEP2013 Clause 6.3(3)(a) requires a staging plan</p>
Objectives		
D2.B	Street Layout	<ul style="list-style-type: none"> To ensure <i>development</i> contributes to the existing compact and interconnected street pattern
Requirements		
D2.2	Street Layout	<ul style="list-style-type: none"> The street layout is consistent with Figure DE (p. D-106) <ul style="list-style-type: none"> Where proposed streets are not outlined on Figure DE (p. D-106) they should have a minimum of one connection to the existing township <i>Dual-use paths</i> are consistent with Figure DE (p. D-106) Street design considers the parking and manoeuvring of long vehicles, such as boats and caravans <p>Note: C1.7 (p. C-66) requires the street network to be interconnected to provide a grid-like structure</p> <ul style="list-style-type: none"> Intersections to Tarean Road are informed by <i>Traffic Impact Assessment (TIA)</i> with consideration provided to Tarean Road as a <i>local road</i> managed by Council <p>Note: B9.2 (p. B-55) requires development deemed in Council's opinion to impact on the existing road network to provide a <i>TIA</i></p>
Objectives		
D2.C	Commercial	<ul style="list-style-type: none"> To ensure commercial <i>development</i> is in-keeping with the existing scale and character of Karuah
Requirements		
D2.3	Public Domain	<ul style="list-style-type: none"> <i>Public domain</i> works are consistent with the Karuah Commercial Centre Landscape Plan²² <p>Note: C2.2 (p. C-72) requires a <i>landscape plan</i> to be provided with a <i>development application</i> for <i>commercial premises</i></p>
D2.4	Building Articulation	<ul style="list-style-type: none"> Facades should be articulated with timber and masonry finishes <p>Note: C2.15 (p. C-74) requires building facades to use</p>

D2

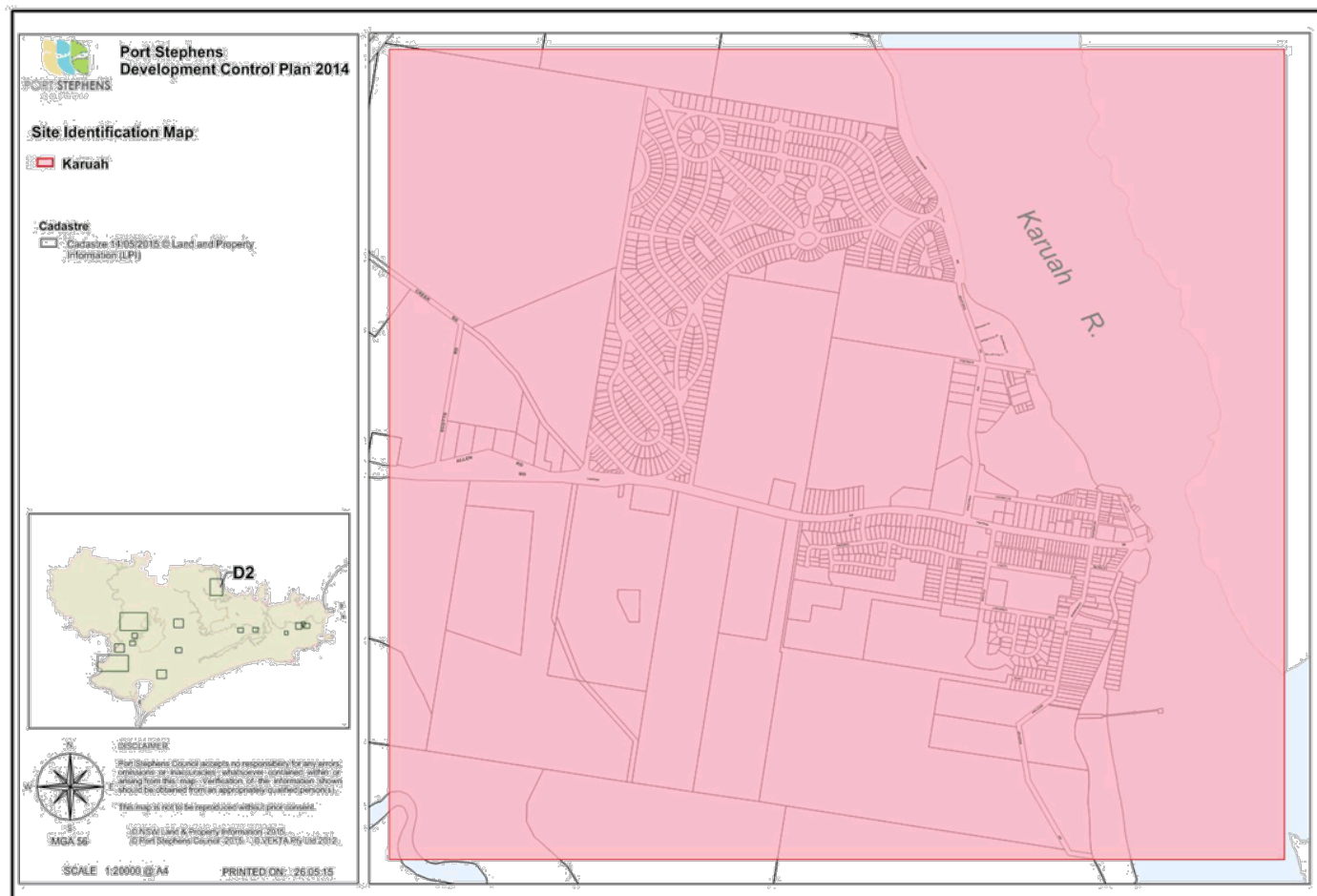
KARUAH

		materials, colours and architectural elements to reduce bulk and scale that are complimentary to existing built-form and natural setting
D2.5	Awnings	<ul style="list-style-type: none"> Awnings are provided for commercial development identified as primary commercial on Figure DE (p. D-106) <ul style="list-style-type: none"> Awnings are not required for commercial development identified as secondary commercial on Figure DE (p. D-90) <p>Note: C2.18 (p. C-75) requires awnings to be provided over pedestrian pathways for commercial development</p>
Objectives		
D2.D	Biodiversity Management	<ul style="list-style-type: none"> To ensure a suitable <i>buffer</i> is provided on land subject to the development to decrease impacts to areas of <i>environmental significance</i>
Requirements		
D2.6	Boundary Impacts	<ul style="list-style-type: none"> A suitable <i>buffer</i> of between 50-100m is to be provided between <i>development</i> and areas of <i>environmental significance</i> <ul style="list-style-type: none"> The suitable <i>buffer</i> provides consideration to land identified for bio-banking, which is located within the Stockton to Watagans Green Corridor and legally described as: <ul style="list-style-type: none"> Lot 55 & 85 DP 753196 Lot 2 DP 573068 Lot 1 & 2 DP 552739 Lot 1 & 2 DP 1167919 <p>Note: B2.1 (p. B-20) requires <i>development</i> in proximity to items of <i>environmental significance</i> to provide a suitable <i>buffer</i> on the land subject to the <i>development</i></p>
Objectives		
D2.E	Infrastructure Provision	<ul style="list-style-type: none"> To ensure development is supported by <i>essential services</i> being water, electricity, sewerage, stormwater drainage and road access
Requirements		
D2.8	Stormwater Drainage	<ul style="list-style-type: none"> Development provides consideration to localised constraints on <i>public drainage</i> <p>Note: B4.1 (p. B-28) requires development that increases <i>non-permeable surfaces</i> to provide a <i>stormwater drainage plan</i></p>
D2.9	Water Quality	<ul style="list-style-type: none"> Water quality management takes into consideration <i>development</i> impacts both during construction and occupancy on neighbouring SEPP No.14 wetlands <p>Note: B4.C & B4.D (pp. B-29 to B-30) requires <i>development</i> to provide water quality measures and buffers to <i>riparian corridors</i></p>

D2

KARUAH

Figure DD:
Karuah
Land
Application
Map

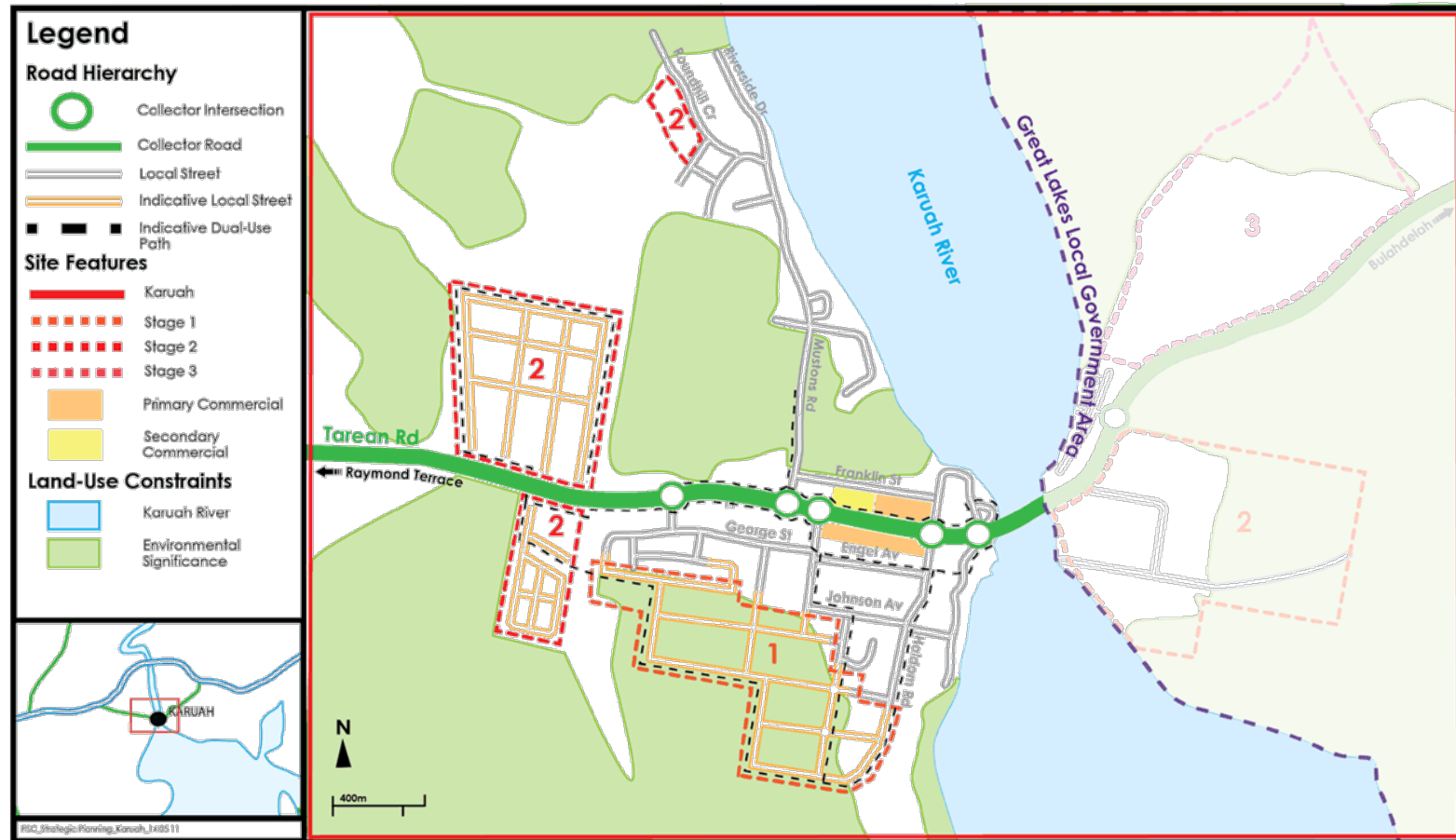


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D2

KARUAH

Figure DE: Karuah Locality Controls Map



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D3

LEMON TREE PASSAGE

D3 Lemon Tree Passage

Application		
<ul style="list-style-type: none"> This Part applies to the land identified as Lemon Tree Passage 		
Objectives		
D3.A	Waterfront Precinct	<ul style="list-style-type: none"> To ensure that <i>development</i> retains and supports waterfront commercial uses and the integration of facilities for maritime activities
Requirements		
D3.1	Public Access & Boardwalks	<ul style="list-style-type: none"> <i>Development</i> seeks to provide an 6m wide public access for identified laneways as identified on Figure DG (p. D-110) Allow for a 3m boardwalk along the waterfront as identified on Figure DG (p. D-110) <p>Note: These requirements are reflective of NSW Coastal Planning Guideline and <i>SEPP</i> 71 – Coastal Protection to maintain access to Foreshore and to <i>public open space</i></p>
D3.2	Pavilion Buildings	<ul style="list-style-type: none"> Pavilion type buildings identified on Figure DG (p. D-110) should display the following design characteristics to limit bulk and scale: <ul style="list-style-type: none"> Minimum roof pitch of 22° Maximum 10m boardwalk frontage <i>Gross floor area</i> of 100sqm <p>Note: C2.15 (p. C-74) requires building facades to use materials, colours and architectural elements to reduce bulk and scale that are complimentary to existing built-form and natural setting</p>
Objectives		
D3.B	Mixed-Use Precinct	<ul style="list-style-type: none"> To ensure <i>development</i> compliments the commercial main street of Cook Parade
Requirements		
D3.3	Road Dedication	<ul style="list-style-type: none"> <i>Development</i> provides a 8m wide road dedication for rear access as identified on Figure DG (p. D-110) <p>Note: C1.6 (p. C-66) requires streets to comply with <i>Infrastructure Specification – Design</i>¹¹</p>
D3.4	Building Depth	<ul style="list-style-type: none"> Minimum building depth of 15m along Cook and Meredith Parades Minimum building depth of 5m along Shearman Avenue <p>Note: C2.E (p. C-73) requires no minimum depth</p>
D3.5	Floor Level	<ul style="list-style-type: none"> Floor level must be a maximum of 300mm above the adjacent footpath <p>Note: C2.5 (p. C-73) requires <i>ground level (finished)</i> to</p>

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D3

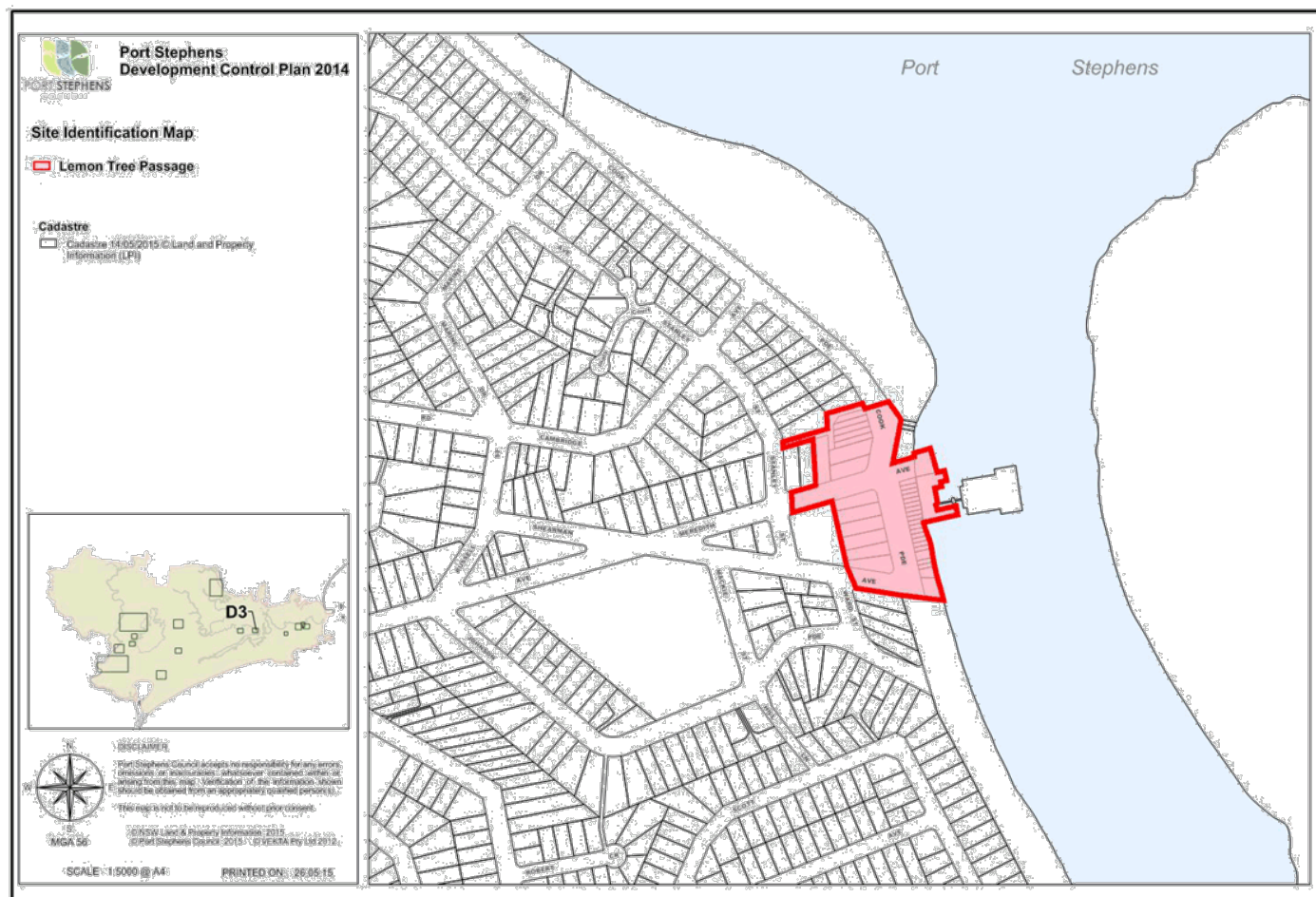
LEMON TREE PASSAGE

		be between 100-500mm above adjacent footpath
D3.6	Site Frontage	<ul style="list-style-type: none"> Maximum site frontage of 6m along Cook Parade <p>Note: C2.8(p. C-73) requires a minimum 20m site frontage where <i>development</i> is proposed to be more than 10.5m in height</p>
D3.7	Mezzanine and Abutting Laneway	<ul style="list-style-type: none"> A <i>mezzanine</i> area abutting the rear laneway provides: <ul style="list-style-type: none"> Minimum floor level of 2.5m <i>Australian Height Datum (AHD)</i> <p>Note: B5.1 (p. B-36) requires <i>development</i> to be compatible with the flood hazard of the land</p> <ul style="list-style-type: none"> Development is within 5m of the <i>road reserve</i> <p>Note: C2.11 (p. C-73) requires a rear setback to be built for purpose as informed by the Site Analysis and Plan required under C2.8 (p. C-61)</p> <ul style="list-style-type: none"> Minimum 2.4m ground floor to ceiling height <p>Note: C2.2 (p. C-72) requires the minimum ground floor to ceiling height for all <i>development</i> types within a commercial zone to be 3.5m</p>
D3.8	Roof Pitch	<ul style="list-style-type: none"> Minimum roof pitch of 22° <p>Note: C2.14 (p. C-74) requires that building proportion is complimentary to the form, proportions and massing of existing building patterns</p>

D3

LEMON TREE PASSAGE

Figure Df:
Lemon Tree
Passage
Land
Application
Map

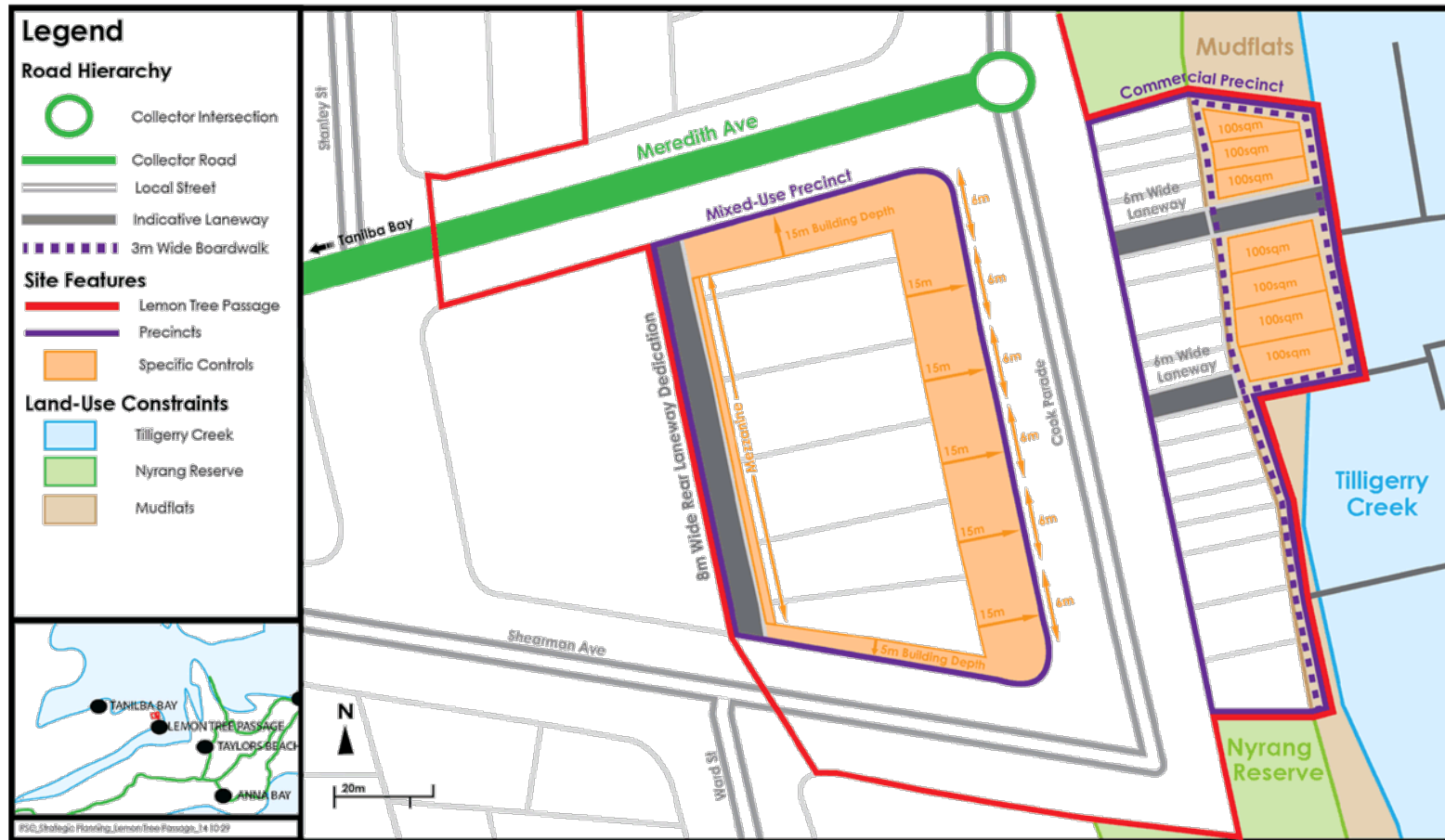


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D3

LEMON TREE PASSAGE

Figure DG: Lemon Tree Passage Locality Controls Map



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D4

KOALA BAY – TANILBA BAY

D4 Koala Bay – Tanilba Bay

Application		
<ul style="list-style-type: none"> This Part applies to the land identified as Koala Bay – Tanilba Bay 		
Objectives		
D4.A	Setbacks	<ul style="list-style-type: none"> To ensure <i>development</i> provides continuity and consistency to the public domain
Requirements		
D4.1	Front Setback	<ul style="list-style-type: none"> Minimum front setback of 6m <p>Note: C4.10 (p. C-83) requires a minimum front setback of 4.5m for a <i>greenfield</i> site</p>
Objectives		
D4.B	Biodiversity Management	<ul style="list-style-type: none"> To encourage the proper conservation and management of areas of natural vegetation that provide <i>koala habitat</i> To ensure landscaping is informed by setting
Requirements		
D4.2	Landscaping	<ul style="list-style-type: none"> A <i>development application</i> is accompanied by a <i>Landscape Plan</i>, which provides consideration to: <ul style="list-style-type: none"> Development not adjoining Lemon Tree Passage Road incorporates <i>SEPP 44 Trees</i> in the front and rear yards Front and rear yards are turfed and planted predominately with local native species, shrubs and trees <p>Note: C4.2 (p. C-81) requires that a <i>Landscape Plan</i> be provided in accordance with the <i>Landscape Technical Specification</i>⁴</p>
D4.3	Covenants	<ul style="list-style-type: none"> To assist in the conservation of koalas a <i>Section 88B</i> covenant prohibits dogs <p>Note: B2.4 (p. B-21) requires consideration to the Port Stephens Comprehensive Koala Plan of Management¹⁰ performance criteria</p>
D4.4	Swimming Pools	<ul style="list-style-type: none"> A 50mm diameter rope or greater is affixed or left dangling at least one metre in the water body, or The water body is battered to no less than 1:20 to enable koala exit <p>Note: C4.33 (p. C-86) discusses requirements for <i>swimming pools</i> and B2.4 (p. B-21) requires <i>development</i> that is located in <i>koala habitat</i> to consider the Port Stephens Comprehensive Koala Plan of Management¹⁰</p>
D4.5	Fencing	<ul style="list-style-type: none"> Fences should avoid restricting wildlife movements by: <ul style="list-style-type: none"> Native vegetation hedges instead of fence, or

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D4

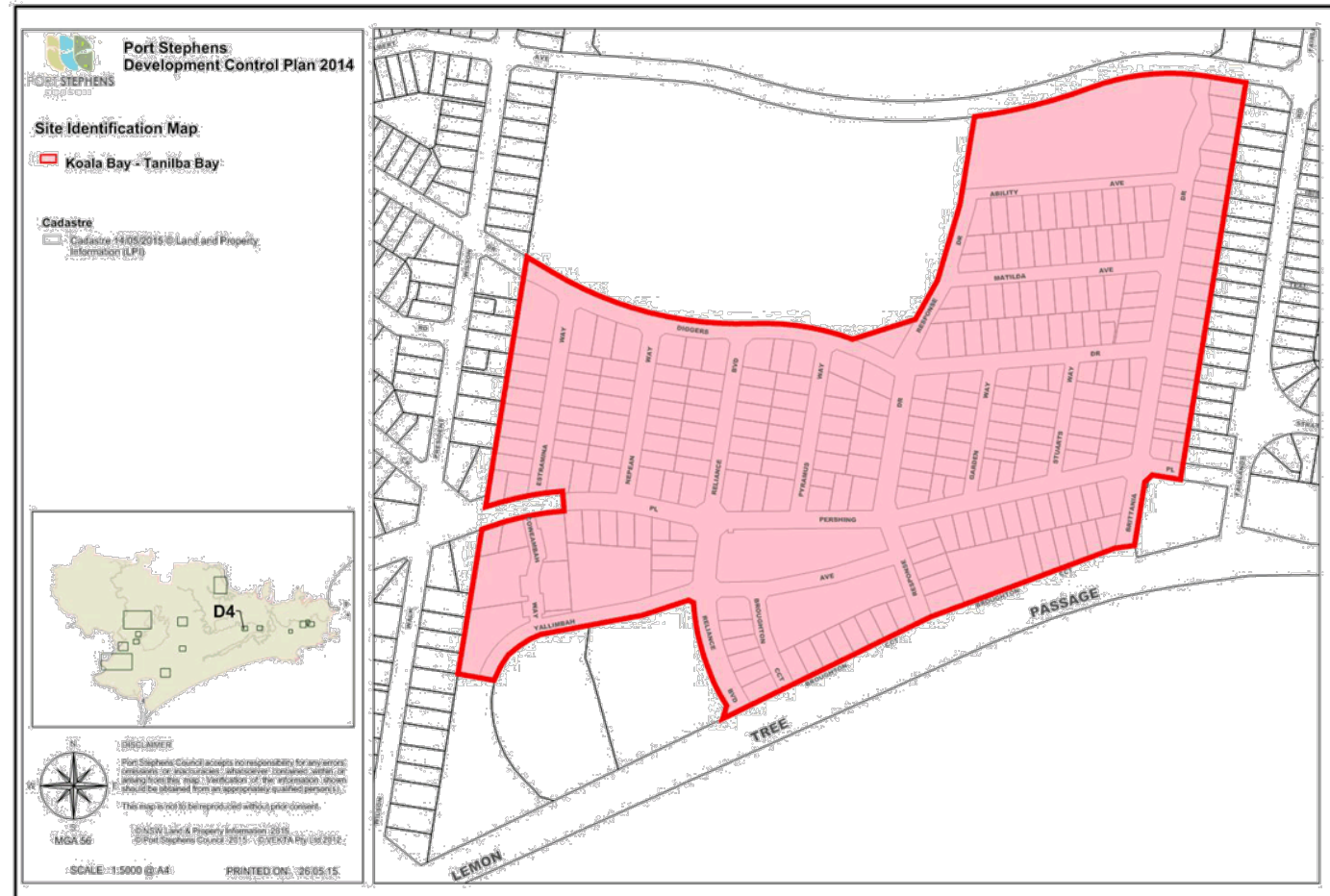
KOALA BAY – TANILBA BAY

		<ul style="list-style-type: none"> • Maintain 30cm gap under the fence, or • Any style fencing with a post and bridge system over the fence at 10-20 metre intervals, or • Post and rail with a minimum gap of 300mm between rails, <p>Note: C4.37 (p. C-86) requires that side fencing not exceed 1.8m in height and not be of a solid appearance</p>
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D4

KOALA BAY – TANILBA BAY

Figure DH:
Koala Bay –
Tanilba Bay
Land
Application
Map



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D5

NELSON BAY CENTRE

D5 Nelson Bay Centre**Application**

- This Part applies to the land identified as Nelson Bay Centre

Objectives

D5.A	General Precinct Provisions	<ul style="list-style-type: none"> ▪ To provide general provisions that apply to all precincts identified in the Nelson Bay Centre ▪ To maintain and enhance important views and ensure <i>development</i> integrates within the natural topography ▪ To ensure <i>development</i> contributes to the existing compact and interconnected street pattern ▪ To ensure buildings reinforce the natural amphitheatre landform of the Nelson Bay Town Centre
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Requirements

D5.1	Significant Vistas	<ul style="list-style-type: none"> ▪ <i>Development</i> preserves the important <i>vistas</i> identified by Figure DJ (p. D-119) ▪ Note: C1.7 (p. C-66) requires street layout to respond to the topographical features of the site
D5.2	Street Layout	<ul style="list-style-type: none"> ▪ The street layout is consistent with Figure DJ (p. D-119) ▪ Note: C1.7 (p. C-66) requires the street network to be interconnected to provide a grid-like structure
D5.3	Roof Design	<ul style="list-style-type: none"> ▪ <i>Development</i> is to ensure that roof tops do not negatively impact on the <i>public domain</i> when: <ul style="list-style-type: none"> • Viewed from buildings at higher elevations • When approaching the town centre • Viewed from the street ▪ Note: C2.4 (p. C-73) requires building height to be in accordance with PSLEP2013 Clause 4.3 and 5.6
D5.4	NSW Coastal Planning Guidelines	<ul style="list-style-type: none"> ▪ Building materials are reflective of existing buildings with reference made to the NSW Coastal Planning Guidelines¹² ▪ Note: C2.15 (p. C-74) requires building facades to use materials, colours and architectural elements to reduce bulk and scale

Objectives

D5.B	Desired Character - Village Precinct	<ul style="list-style-type: none"> ▪ To provide character statements that were identified through the Nelson Bay Town Centre and Foreshore Strategy to guide <i>development</i> within the Village Precinct as identified by Figure DJ (p. D-119) ▪ To ensure <i>street activation</i> and passive surveillance through <i>activated street fronts</i> ▪ To facilitate <i>development</i> that is safe and secure for pedestrians and contributes to public domain safety by incorporating principles of <i>Crime Prevention through</i>
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D5

NELSON BAY CENTRE

		<p><i>Environmental Design (CPTED)</i>, such as:</p> <ul style="list-style-type: none"> • Territorial Re-enforcement • Surveillance • Access Control • Space/Activity Management
Requirements		
D5.5	Desired Character – Village Precinct	<ul style="list-style-type: none"> ▪ Development within the Village Precinct as identified on Figure DJ (p. D-119) has regard for the following desired character statements: <ul style="list-style-type: none"> • Magnus Street is a pedestrian focused main street and acts as a focal point for the town centre • Development is fine grained and intensive retail and commercial that presents street activation <ul style="list-style-type: none"> ◦ Development provides continuity of an activated street frontage for localities where business or retail premises predominately face the street and have direct pedestrian access from the street <p>Note: C2.16 (p. C-74) requires street activation for those localities identified in Part D – Specific Areas (p. D-98)</p> <ul style="list-style-type: none"> • Development retains and enhances the existing character and function of Stockton and Magnus Streets as the main shopping streets in the town centre • Tall buildings have setbacks above the street and are designed to ensure that they do not visually dominate at the street level <ul style="list-style-type: none"> ◦ Facades should be detailed to promote clearly defined ground floor, first floor and second floor elements to manage the proportion of building height ◦ Articulation of the ground floor should maintain the rhythm of the traditional main street shop fronts <p>Note: C2.9 (p. C-73) requires a minimum front setback of 3m from the front property line for the second floor</p>
Objectives		
D5.C	Desired Character – Town Living and Commercial	<ul style="list-style-type: none"> ▪ To provide character statements that were identified through the Nelson Bay Town Centre and Foreshore Strategy to guide development within the Village Precinct as identified by Figure DJ (p. D-119) ▪ To encourage a diversity of residential accommodation types to provide critical mass to support the role of the village precinct
Requirements		
D5.6	Desired Character – Town Living and	<ul style="list-style-type: none"> ▪ Development within the Town Living and Commercial Precinct as identified on Figure DJ (p. D-119) has regard for the following desired character statements: <ul style="list-style-type: none"> • A wide range of uses including residential, retail

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D5

NELSON BAY CENTRE

	Commercial	<p>and business development will occur in the precinct. This will attract a range of housing types including <i>residential flat buildings</i>, <i>multi dwelling housing</i> and shop top housing</p> <ul style="list-style-type: none"> The precinct is appropriate for larger scale developments, with large footprints, that may not be suitable for the Village Precinct The mix of uses may encourage residential living with live-work opportunities and boutique commercial office space <i>Development</i> will have regard for adjacent precincts that provide a change in scale Mature street plantings are to assist in enclosing the street for pedestrians and reducing the scale of large style buildings located in this area <p>Note: C1.9 (p. C-67) requires that street trees be provided in accordance with the <i>Tree Technical Specification</i>¹</p>
Objectives		
D5.D	Desired Character – Tourism and Leisure	<ul style="list-style-type: none"> To provide character statements that were identified through the Nelson Bay Town Centre and Foreshore Strategy to guide development within the Village Precinct as identified by Figure DJ (p. D-119) To facilitate tourism and leisure precinct that provides consideration to the roles of adjoining precincts
Requirements		
D5.7	Desired Character – Tourism and Leisure	<ul style="list-style-type: none"> <i>Development</i> within the Tourism and Leisure Precinct as identified on Figure DJ (p. D-119) has regard for the following desired character statements: <ul style="list-style-type: none"> <i>Development</i> fronting Apex Park is to provide <i>activate street fronts</i>, facilitate access to adjoining precincts and contribute linking the Town Centre through Apex Park to the Foreshore <p>Note: C2.16 (p. C-74) requires street activation for those localities identified in Part D – Specific Areas (p. D-98)</p> <ul style="list-style-type: none"> <i>Development</i> for a hotel and conference centre would be appropriate in this location
Objectives		
D5.E	Desired Character – Foreshore	<ul style="list-style-type: none"> To provide character statements identified through the Nelson Bay Town Centre and Foreshore Strategy to guide development within the Village Precinct as identified by Figure DJ (p. D-119) To encourage <i>development</i> to address the waterfront and to provides an attractive safe pedestrian environment To encourage the establishment of a destination <i>development</i> that will integrate with established and future pedestrian circulation patterns
Requirements		
D5.8	Desired	<ul style="list-style-type: none"> <i>Development</i> within the Foreshore Precinct as identified

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D5

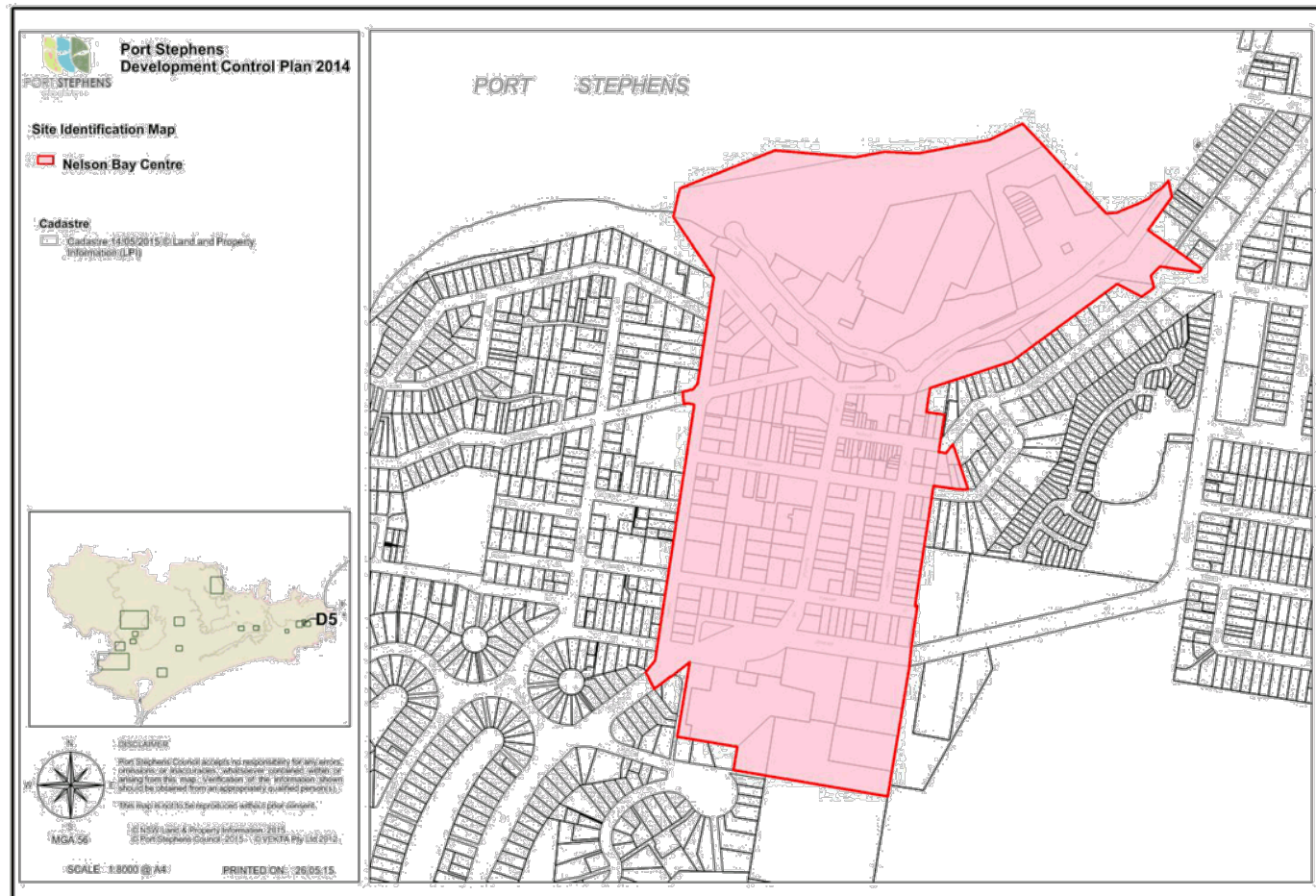
NELSON BAY CENTRE

	Character – Foreshore	<p>on Figure DJ (p. D-119)has regard for the following desired character statements:</p> <ul style="list-style-type: none"> • Development provides legibility, which reinforces the visual and cultural importance of the waterfront <ul style="list-style-type: none"> ◦ Development incorporates public art, which can act as landmarks <p>Note: C2.22(p. C-76) requires commercial development of a significant scale and that provides frontage to the public domain to incorporate public art in accordance with the relevant s94 Contribution Plan</p> <ul style="list-style-type: none"> • Water and marine related activities are complimentary to commercial and leisure related uses • Accessible area that attracts a range of users
Objectives		
D5.F	Desired Character – Green Link	<ul style="list-style-type: none"> ▪ To provide a range of character statements identified through the Nelson Bay Town Centre and Foreshore Strategy to guide development within the Village Precinct as identified by Figure DJ (p. D-119) ▪ To encourage the establishment of a destination development that will integrate with established and future pedestrian circulation patterns
Requirements		
D5.9	Desired Character – Green Link	<ul style="list-style-type: none"> ▪ Development within the Green Link Precinct as identified on Figure DJ (p. D-119)has regard for the following desired character statements: <ul style="list-style-type: none"> • The Green Link at Nelson Bay's central meeting place is reinforced by connecting paths and as a future location of cyclist end of trip facilities • A transition area that facilitates movement between the Town Centre and Foreshore • This green space is appropriate for passive and small scale active recreation uses

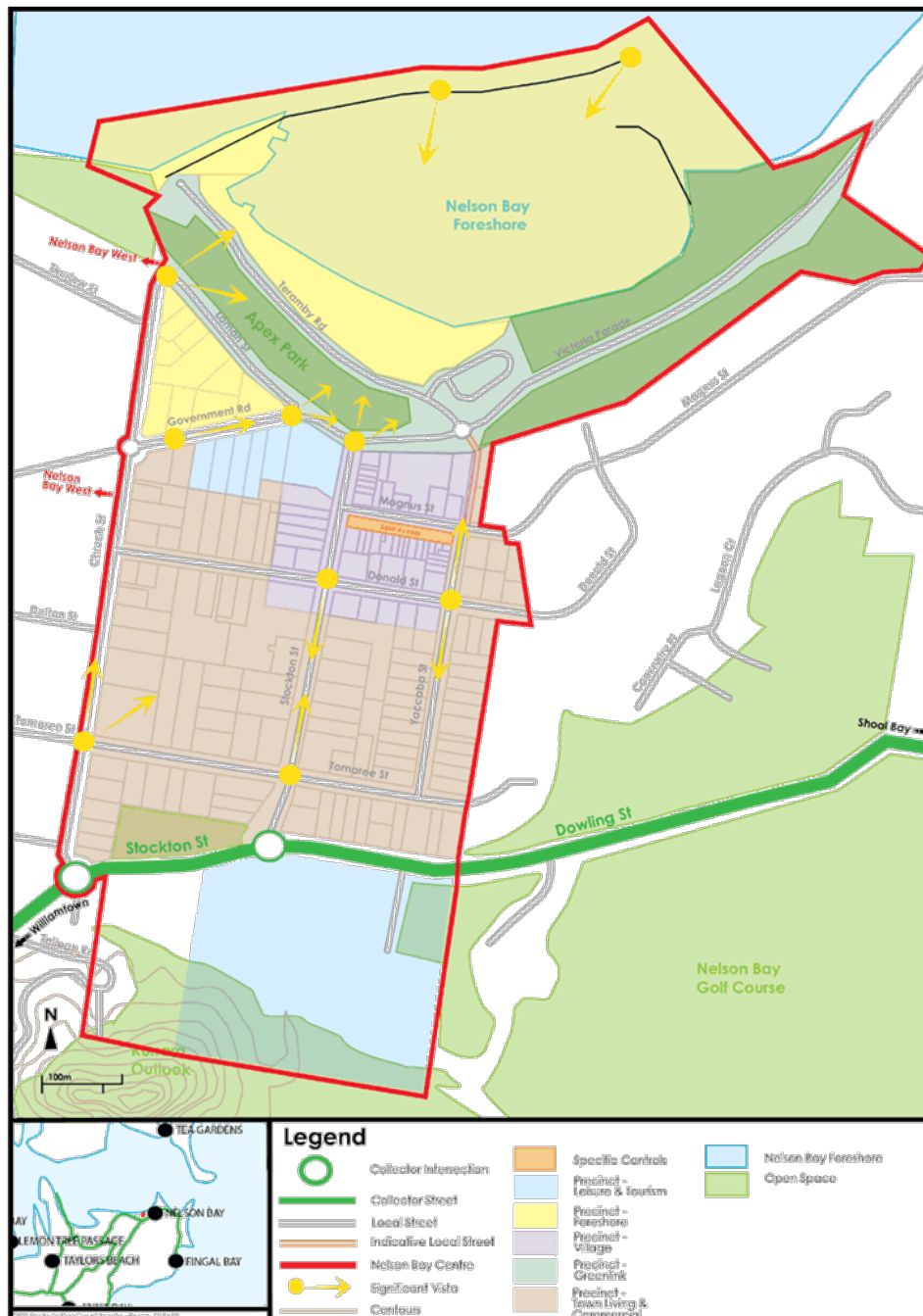
D5

NELSON BAY CENTRE

Figure D1:
Nelson Bay
Centre Land
Application
Map



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D5**NELSON BAY CENTRE****Figure D4:** Nelson Bay Centre Locality Controls Map

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D6

NELSON BAY WEST

D6 Nelson Bay West

Application		
<ul style="list-style-type: none"> This Part applies to the land identified as Nelson Bay West 		
Objectives		
D6.A	Setbacks	<ul style="list-style-type: none"> To ensure <i>development</i> provides continuity and consistency to the <i>public domain</i>
Requirements		
D6.1	Front Setback	<ul style="list-style-type: none"> Minimum front setback of 6m <p>Note: C4.10 (p. C-83) requires a minimum front setback of 4.5m for a <i>greenfield site</i></p>
D6.2	Secondary Setbacks (Corner Lots)	<ul style="list-style-type: none"> Minimum secondary setback of 3m <p>Note: C4.11 (p. C-83) requires a minimum secondary setback of 2m</p>
D6.3	Side Setback	<ul style="list-style-type: none"> Minimum side setback of 2m for Town Centre Edge, Foreshore, Wahgunyah Neighbourhood and Lower Slopes Minimum side setback of 3m for Upper Slopes and Hill Tops <p>Note: C4.12 (p. C-83) requires a minimum ground floor side setback of 0.9m</p>
Objectives		
D6.B	On-site Detention	<ul style="list-style-type: none"> To regulate the impacts on the capacity of the <i>public drainage</i> system
Requirements		
D6.4	Non-Permeable Surfaces	<ul style="list-style-type: none"> <i>On-site detention</i> is required where <i>non-permeable surfaces</i> exceed the listed percentage of <i>site area</i>: <ul style="list-style-type: none"> Town Centre Edge – 75% Foreshore – 60% Wahgunyah – 65% Lower Slopes – 65% Upper Slopes and Hilltops – 50% <p>Note: B4.2 (p. B-28) requires <i>on-site detention</i> where <i>non-permeable surfaces</i> exceed the total percentage of site area as listed under Figure BD (p. B-31)</p>
Objectives		
D6.C	Landscaping	<ul style="list-style-type: none"> To ensure landscaping is within context through the appropriate selection of species and site coverage
Requirements		
D6.5	Landscape Coverage	<ul style="list-style-type: none"> A <i>Landscape Plan</i> within Nelson Bay West achieves the following site area percentage coverage targets:

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D6

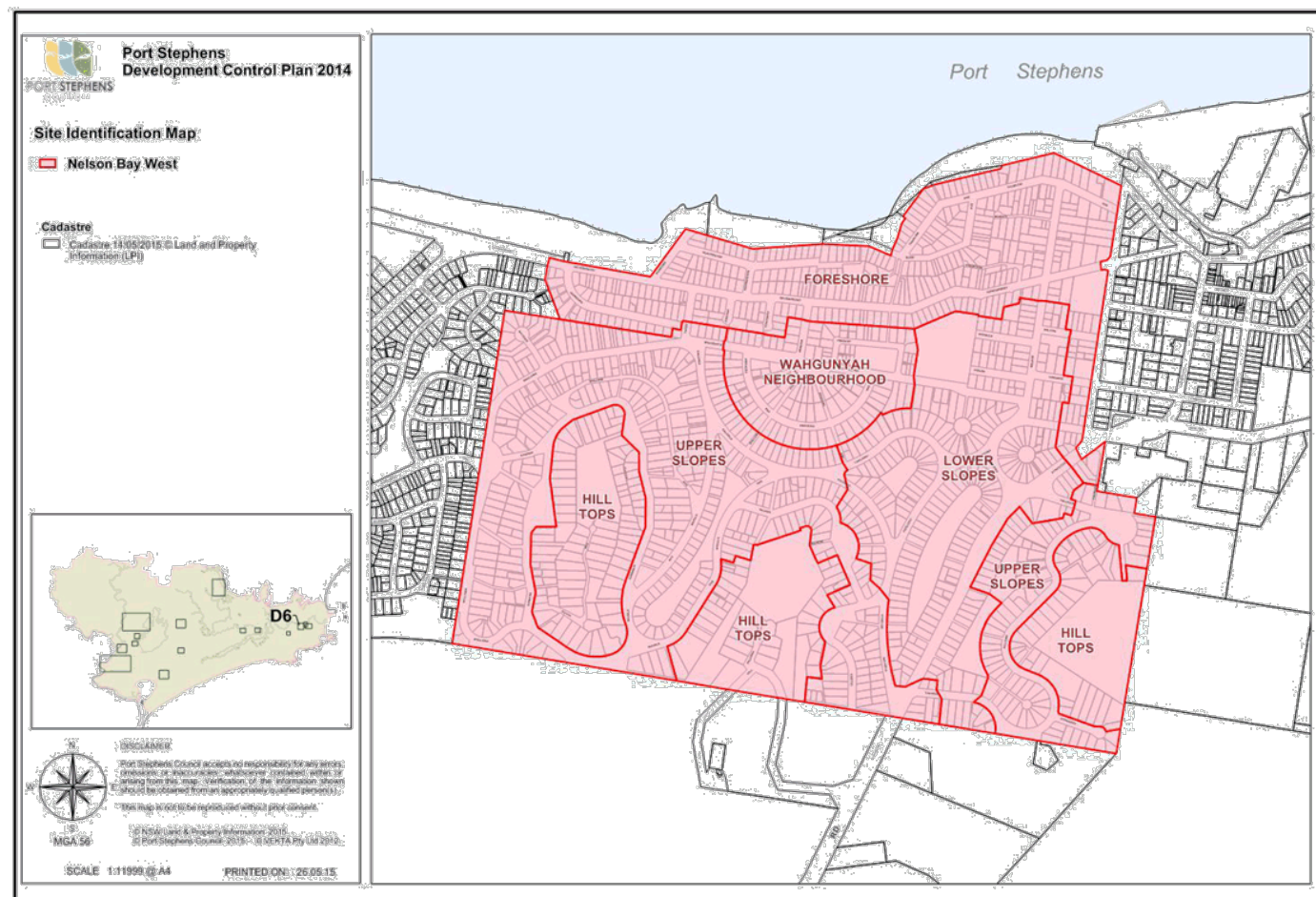
NELSON BAY WEST

		Location	Landscape Area	Endemic Species	Native Vegetation
		Town Centre Edge	25%	10%	N/A
		Foreshore	40%	20%	N/A
		Wahgunyah	34%	20%	N/A
		Lower Slopes	34%	20%	N/A
		Upper Slopes	50%	35%	70%
		Hill Tops	50%	35%	90%
		Note: C4.2 (p. C-81) requires that a <i>Landscape Plan</i> be provided in accordance with the <i>Landscape Technical Specification</i> ⁴			

D6

NELSON BAY WEST

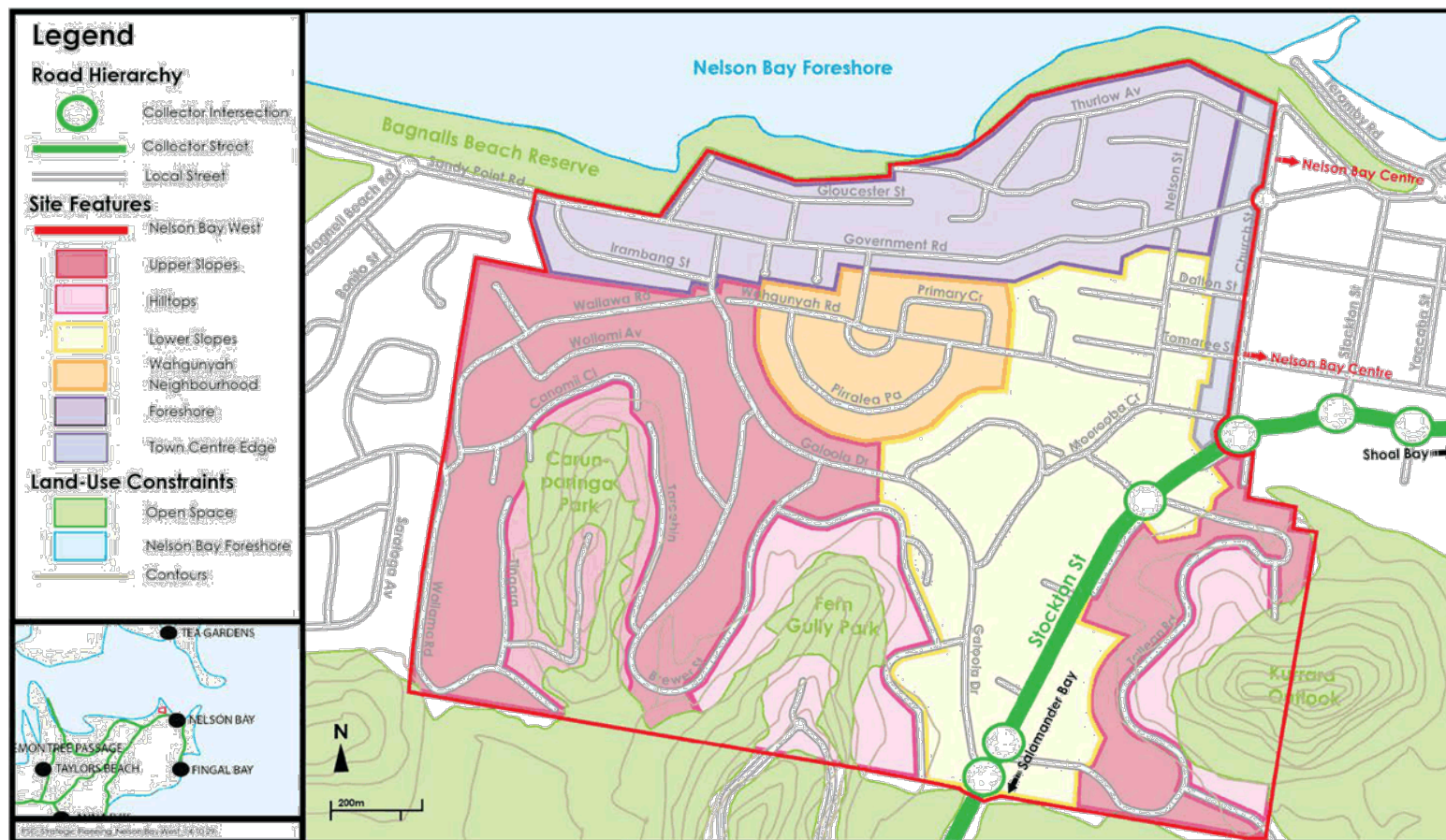
Figure DK:
Nelson Bay
West Land
Application
Map



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NELSON BAY WEST

Figure DL: Nelson Bay West Locality Controls Map



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D7

SEABREEZE ESTATE – NELSON BAY

D7 Seabreeze Estate – Nelson Bay

Application

- This Part applies to the land identified as Seabreeze Estate – Nelson Bay

Objectives

D7.A	Drainage and Water Quality	<ul style="list-style-type: none"> To ensure stormwater works that are required for the implementation of stormwater management within Seabreeze Estate and the groundwater catchment draining to Melaleuca Estate can be managed To recognise that rainwater tanks will lead to a reduction in the amount of roof run-off discharging to public drainage To reduce stormwater entering Melaleuca Estate and mitigate for potential loss in water quality To reduce the need for portable water to irrigate
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Requirements

D7.1	Water Tanks	<ul style="list-style-type: none"> Minimum water tank storage volume of 5,000L per unit <ul style="list-style-type: none"> Water tanks are to be configured to allow use of the water for non-potable purposes Over-flow should be directed to on-site infiltration system <p>Note: C4.2 (p. C-81) requires a BASIX Certificate to be provided with the Development Application for a dwelling house or dual occupancy</p>
D7.2	Increase in non-permeable surfaces by more than 10% or 50m ²	<ul style="list-style-type: none"> Development that increases non-permeable surfaces by more than 10% or 50m² is to provide on-site infiltration <ul style="list-style-type: none"> On-site infiltration is designed to cater to 100 year Average Recurrence Interval (ARI) with durations up to 72 hours considered to calculate capacity The stormwater drainage plan demonstrates the following details regarding on-site infiltration: <p>Note: B4.1 (p. B-28) requires a stormwater drainage plan when development increases non-permeable surfaces and will place additional flows into public drainage</p> <ul style="list-style-type: none"> location and type of infiltration system demonstrated volume of maximum AEP pipes, pits, overland flow and discharge points which discharge to either one of the following: <ul style="list-style-type: none"> ✓ on-site detention system where soil conditions are not suitable for infiltration ✓ discharge into underground infiltration systems where the soils are

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D7

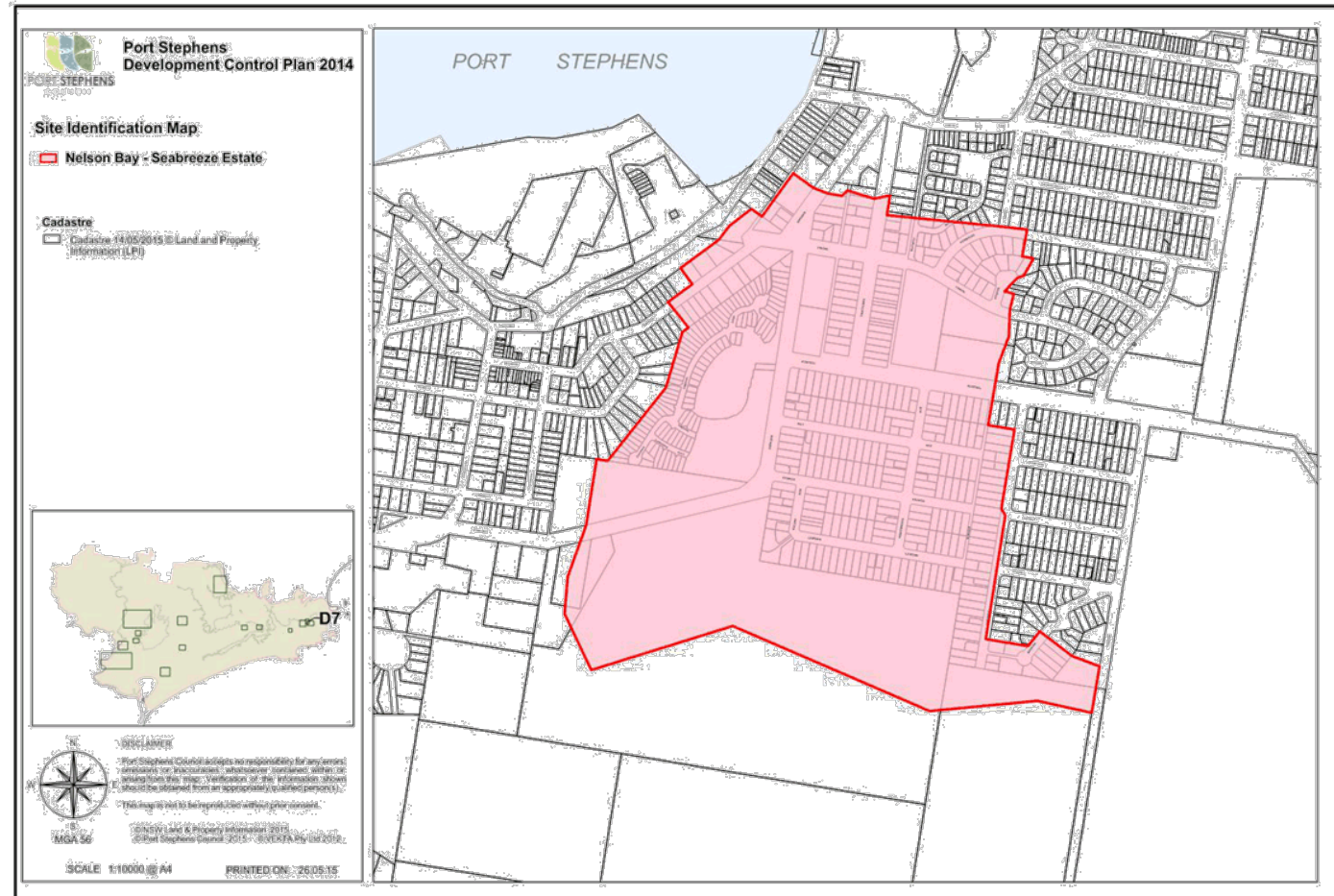
SEABREEZE ESTATE – NELSON BAY

		<p>suitable to infiltrate</p> <ul style="list-style-type: none"> ✓ directly onto the ground surface, if adjacent properties are not affected ○ surface grates and maintenance access points ○ orifice type, location and screening facility ○ slope/gradient of the land ✓ <i>On-site detention</i> is required where it can be demonstrated that soil conditions are not suitable for on-site infiltration <p>Note: B4.2(p. B-28) requires <i>on-site detention</i> when <i>development</i> proposes to increase <i>non-permeable surfaces</i></p>
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D7

SEABREEZE ESTATE – NELSON BAY

Figure DM:
Seabreeze
Estate –
Nelson Bay
Land
Application
Map



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D8

SALAMANDER BAY

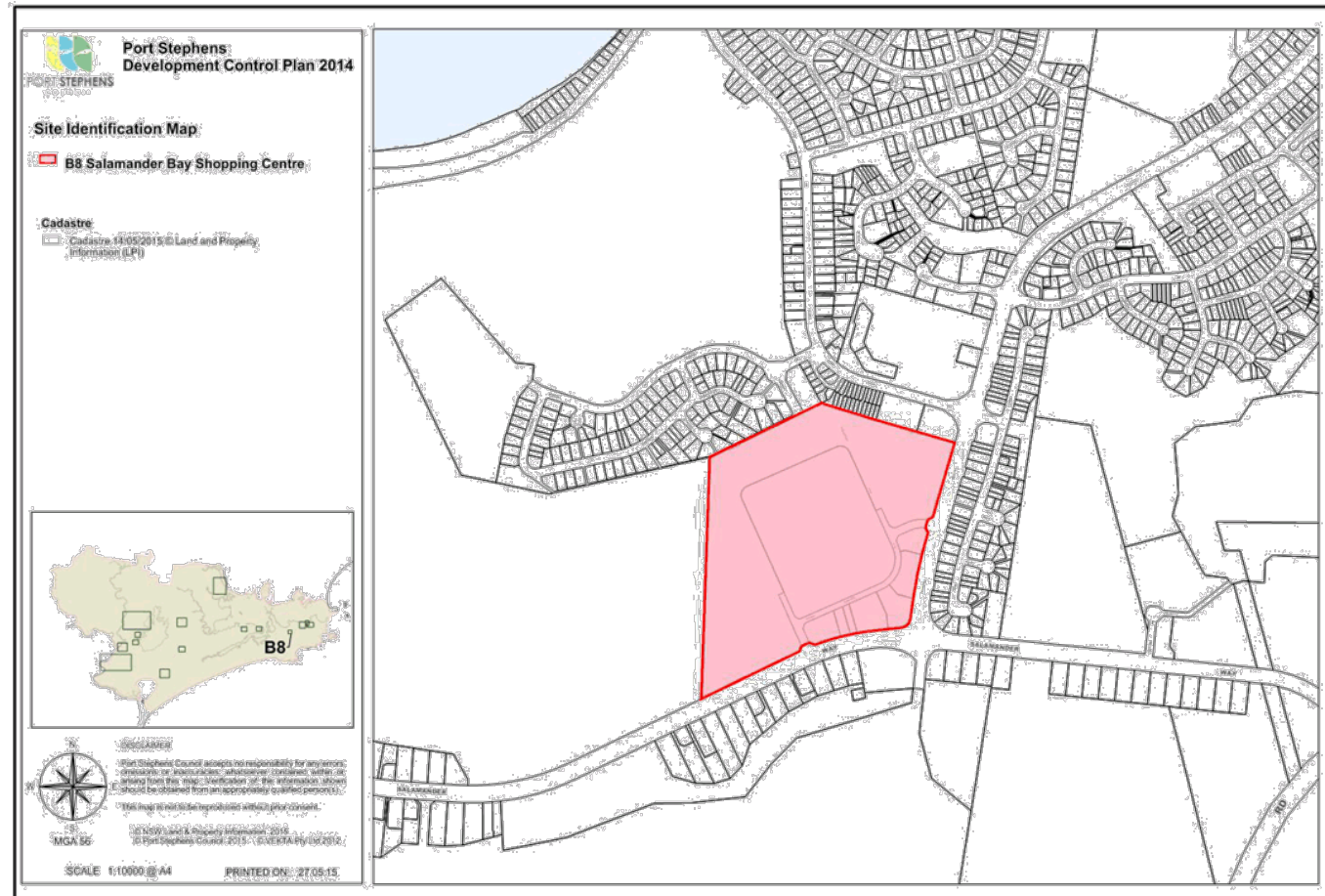
**D8 Salamander Bay Shopping Centre –
Nelson Bay**

Application		
<ul style="list-style-type: none"> This Part applies to the land identified as Salamander Bay Shopping Centre 		
Objectives		
D7.A	Planning Principles	<ul style="list-style-type: none"> To provide planning principles that provide further guidance to the development of the Salamander Bay Shopping Centre Precinct
Requirements		
D7.1	Identity Hub	<ul style="list-style-type: none"> To create a sense of identity for a unified community and commercial precinct
D7.2	Integration	<ul style="list-style-type: none"> To ensure future development is sympathetically integrated with the existing surrounds and appropriately activates the precinct
D7.3	Connectivity	<ul style="list-style-type: none"> To ensure an integrated pedestrian and vehicular network promotes improved connectivity between developments within the precinct, and reaffirms the precinct as a hub
D7.4	Access Points	<ul style="list-style-type: none"> To ensure appropriate intersections are considered to accommodate for the expansion of the precinct
D7.5	Friendly	<ul style="list-style-type: none"> To ensure future development respects neighbours and users of the precinct
D7.6	Environment	<ul style="list-style-type: none"> To ensure future development protects the ecological systems within and adjacent to the precinct
D7.7	Safety	<ul style="list-style-type: none"> To ensure future development is designed with the safety of neighbours and users in mind
D7.8	Community	<ul style="list-style-type: none"> To ensure future development supports and is consistent with community activities
D7.9	Aesthetics	<ul style="list-style-type: none"> To ensure diverse aesthetic forms are appropriately developed with the human scale in mind and integrated with in a holistic aesthetic framework for the hub
D7.10	Economic Development	<ul style="list-style-type: none"> To ensure future development offers economic advantages to the community in the immediate and long term

D8

SALAMANDER BAY

Figure DN:
Salamander
Bay Land
Application
Map



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D9

NORTH MEDOWIE - MEDOWIE

D9 North Medowie – Medowie

Application

- This Part applies to the land identified as North Medowie

Objectives

- | | | |
|------|---------------|--|
| D6.A | Street Layout | <ul style="list-style-type: none"> To provide a legible, efficient and permeable road structure that facilitates efficient connectivity for both pedestrians and vehicles |
|------|---------------|--|

Requirements

- | | | |
|------|---------------|--|
| D6.1 | General | <ul style="list-style-type: none"> Streets are generally in accordance with Figure DP (p. D-133) <p>Note: C1.6 (p. C-66) requires streets to comply with <i>Infrastructure Specification – Design</i>¹¹</p> |
| D6.2 | Boundary Road | <ul style="list-style-type: none"> Boundary Road is a collector street, which accommodates: <ul style="list-style-type: none"> Upgrade of intersection with Medowie Road in accordance with the Medowie Local Area Contributions Plan – Traffic and Transport On-Road Cycling <p>Note: C1.6 (p. C-66) requires streets to comply with <i>Infrastructure Specification – Design</i>¹¹</p> |

Objectives

- | | | |
|------|----------|--|
| D6.B | Setbacks | <ul style="list-style-type: none"> To ensure development provides continuity and consistency to the public domain |
|------|----------|--|

Requirements

- | | | |
|------|---------------|--|
| D6.3 | Front Setback | <ul style="list-style-type: none"> Minimum front setback of 9m, except for: <ul style="list-style-type: none"> A large lot residential dwelling fronting Boundary Road provides a minimum front setback of 10m <p>Note: C4.10 (p. C-83) requires a minimum front setback of 10m for rural, environmental or R5 Rural Residential zones</p> |
| D6.4 | Side Setback | <ul style="list-style-type: none"> Minimum side setback of 1.5m, except for: <ul style="list-style-type: none"> A large lot residential dwelling fronting Boundary Road provides a minimum side setback of 2m <p>Note: C4.12 (p. C-83) requires a minimum ground floor side setback of 5m for rural or environmental zones</p> |
| D6.5 | Rear Setback | <ul style="list-style-type: none"> Minimum rear setback of 5m <p>Note: C4.14 (p. C-83) requires a minimum ground rear setback of 5m for rural or environmental zones</p> |

Objectives

- | | | |
|------|---------|---|
| D6.C | Natural | <ul style="list-style-type: none"> To mitigate for habitat loss resulting from the |
|------|---------|---|

D9

NORTH MEDOWIE - MEDOWIE

Resources		intensification of land-use
Requirements		
D6.6	Asset Protection Zone	<ul style="list-style-type: none"> Site Analysis Plans illustrate an appropriate Asset Protection Zone (APZ) <p>Note: B3.1 (p. B-24) requires <i>development</i> requiring referral to the Rural Fire Service will demonstrate in the <i>Statement of Environmental Effects (SEE)</i> how <i>bushfire protection measures</i> have informed the <i>Site Analysis Plan</i></p>
D6.7	Vegetation	<ul style="list-style-type: none"> A <i>Vegetation Management Plan (VMP)</i> is consistent with the <i>vegetation technical specification</i>² in accordance with the following: <ul style="list-style-type: none"> Bushland Residential Precinct <ul style="list-style-type: none"> Provide management corridors within the front setback, which incorporate: <ul style="list-style-type: none"> Retention of Hollow Bearing and <i>SEPP 44 Trees</i> Trees have lower limbs removed up to 2m from ground level Parkland Residential & Large Lot Residential <ul style="list-style-type: none"> Retain Hollow Bearing and <i>SEPP 44 Trees</i> when located within 1.5m of a side boundary or 5m of a rear boundary Koala Feed Trees Precinct <ul style="list-style-type: none"> Retain Hollow Bearing and <i>SEPP 44 Trees</i> Conserved Forest Precinct <ul style="list-style-type: none"> Retain all vegetation <p>Note: B1.7 (p. B-17) requires a <i>hollow tree assessment</i> to be provided when removing hollow bearing trees</p>
D6.8	Fencing	<ul style="list-style-type: none"> Fences should avoid restricting wildlife movements by providing fencing in accordance with the Department of Environment and Heritage Protection. 2012, 'Koala-sensitive Design Guideline, such as: <ul style="list-style-type: none"> Planting native vegetation hedges instead of fencing, or Maintaining 30cm gap under solid fencing, or Using a post and bridge system over the fence at 10-20 metre intervals, or Post and rail with a minimum gap of 300mm between rails, or Fencing incorporates existing trees, or Avoiding the use of barbed wire, Colorbond fences are not supported, <p>Note: C4.37 (p. C-86) requires that side fencing not exceed 1.8m in height and not be of a solid appearance</p>
Objectives		
D6.D	Drainage and Water Quality	<ul style="list-style-type: none"> To effectively manage stormwater to ensure downstream impacts are minimised

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D9

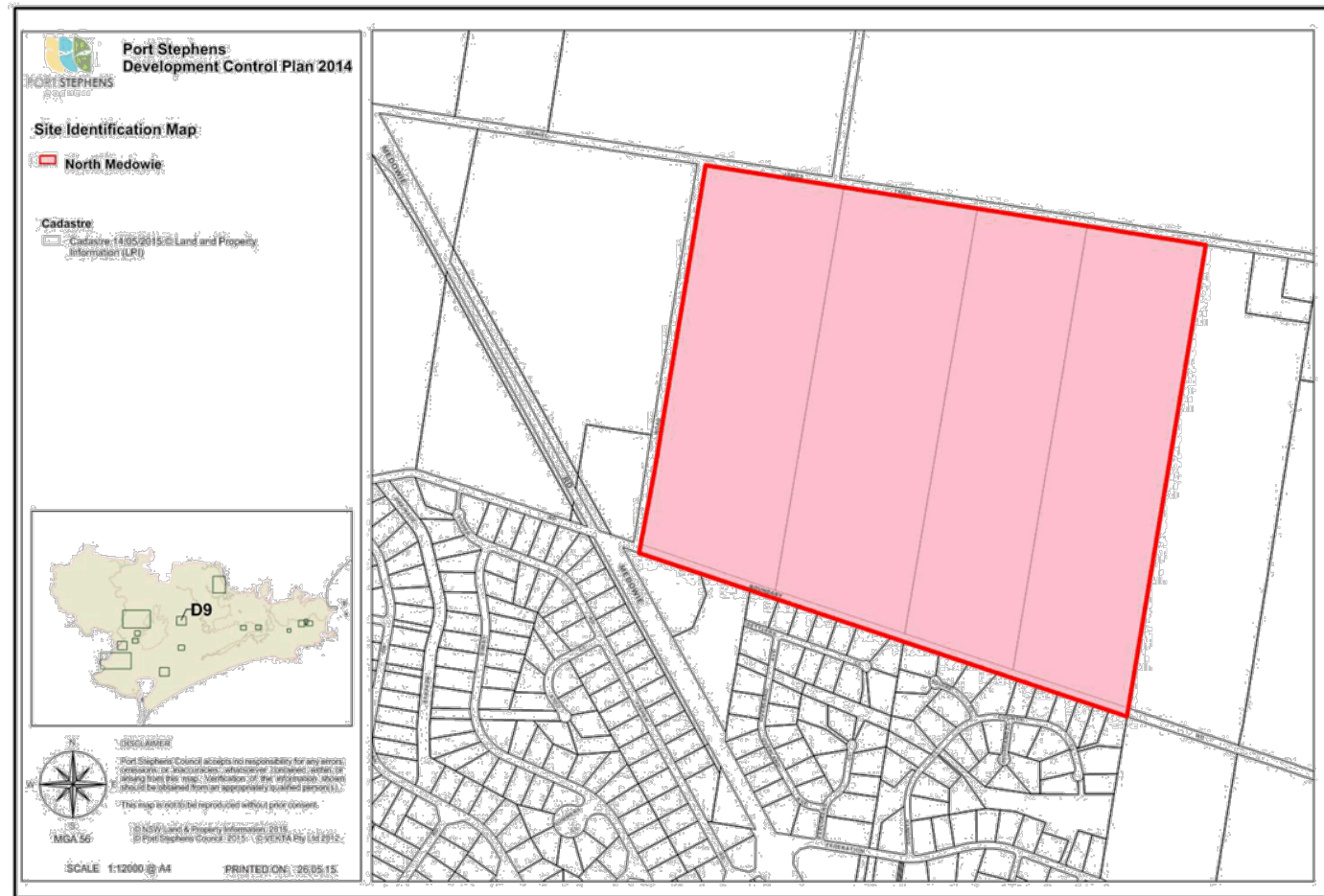
NORTH MEDOWIE - MEDOWIE

Requirements		
D6.9	Detention Basin	<ul style="list-style-type: none"> ▪ <i>Detention basin</i> identified on Figure DP (p. D-133) is constructed prior to the first <i>occupation certificate</i> <p>Note: B4.2 (P. B-28) requires <i>on-site detention</i> where identified prior to subdivision under Part C – Specific Areas</p>

D9

NORTH MEDOWIE - MEDOWIE

Figure D0:
North
Medowie
Land
Application
Map

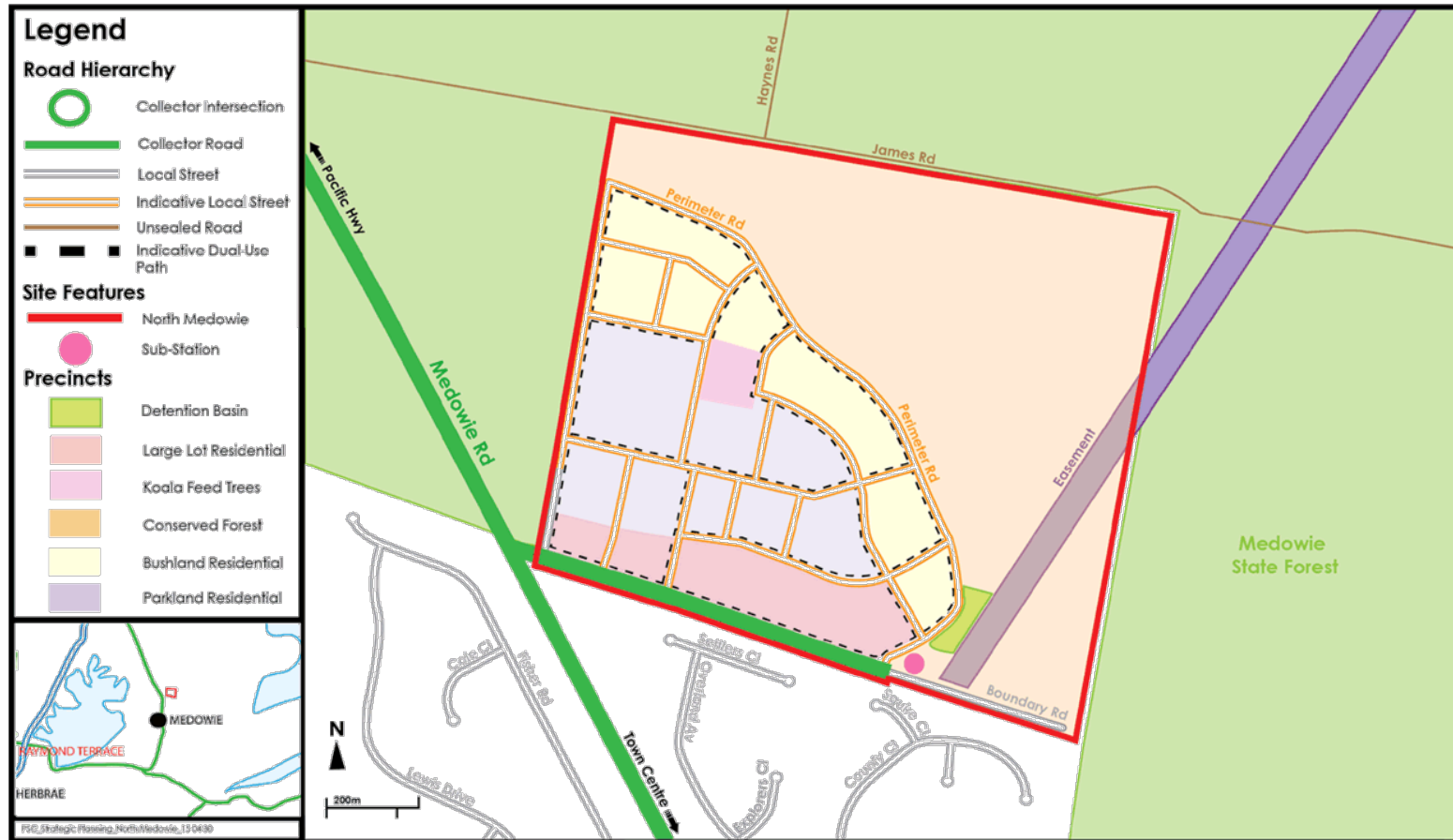


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D9

NORTH MEDOWIE - MEDOWIE

Figure DP: North Medowie Locality Controls Map



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D10

PACIFIC DUNES - MEDOWIE

D10 Pacific Dunes – Medowie

Application		
<ul style="list-style-type: none"> This Part applies to the land identified as Pacific Dunes - Medowie 		
Objectives		
D10.A	Lodgement Requirements	<ul style="list-style-type: none"> To ensure <i>development</i> is informed by an analysis of its setting To provide for <i>development</i> that is dominated by native planting that complements the existing vegetation of the area and enhances natural attributes
Requirements		
D10.1	Landscape Plan	<ul style="list-style-type: none"> A <i>development application</i> is accompanied by a <i>Landscape Plan</i>, which provides consideration to: <ul style="list-style-type: none"> Native trees, shrubs, groundcovers, mulched and planted areas within the front and rear vegetated zones in accordance with the Precinct Design Guidelines³⁷ <p>Note: C4.2 (p. C-81) requires that a <i>Landscape Plan</i> be provided in accordance with the <i>Landscape Technical Specification</i>⁴</p>
Objectives		
D10.B	Flooding	<ul style="list-style-type: none"> To satisfy the provisions of PSLEP Clause 7.3 relating to flooding, such as minimising the flood risk to life and property associated with the use of land To provide for resident safety and amenity by ensuring that minimum floor levels are set above the <i>flood planning level</i>
Requirements		
D10.2	Flood Planning Level	<ul style="list-style-type: none"> The habitable floor level of any dwelling is constructed 500mm above the <i>1% Annual Exceedance Probability (AEP)</i> of 9.5m as contained within the Pacific Dunes Flood Assessment Report³⁸ <p>Note: B5.1 (p. B-36) provides consideration to how flood hazard is to be considered</p>
Objectives		
D10.C	Setbacks	<ul style="list-style-type: none"> To ensure <i>development</i> provides continuity and consistency to the <i>public domain</i> To provide a consistent setback to encourage <i>street activation</i>
Requirements		
D10.3	Setbacks – Country Club	<ul style="list-style-type: none"> Minimum front setback of 4.5m <p>Note: C4.10 (p. C-83) requires a minimum front setback of</p>

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D10

PACIFIC DUNES - MEADOWIE

	Precinct	<p>4.5m for a <i>greenfield site</i></p> <ul style="list-style-type: none"> Minimum front setback of 5.5m for garages <p>Note: C4.10 (p. C-83) requires a minimum front setback for garages of 1m behind the <i>building line or setback</i></p> <ul style="list-style-type: none"> Minimum rear setback of 4.5m <p>Note: C4.14 (p. C-83) requires a minimum ground rear setback of 2m</p> <ul style="list-style-type: none"> Minimum side setback of 1.0m or no minimum side setback garages <p>Note: C4.16 (p. C-84) requires a garage to be a minimum of 1m behind <i>building line or setback</i></p>
D10.4	Setbacks – Lakes, Links, Portmamock Precincts	<ul style="list-style-type: none"> Minimum front setback of 6.0m <p>Note: C4.10 (p. C-83) requires a minimum front setback of 4.5m for a <i>greenfield site</i></p> <ul style="list-style-type: none"> Minimum front setback of 7.0m for garages <p>Note: C4.16 (p. C-84) requires a minimum front setback for garages of 1m behind the <i>building line or setback</i></p> <ul style="list-style-type: none"> Minimum rear setback of 4.5m <p>Note: C4.14 (p. C-83) requires a minimum ground rear setback of 2m</p> <ul style="list-style-type: none"> Minimum side setback of 1.2m for the Links Minimum side setback of 1.0m for the Lakes and Portmamock Precincts Minimum side setback of 1.0m or no minimum side setback for garages in Portmamock Precinct <p>Note: C4.12 (p. C-83) requires a minimum ground floor side setback of 0.9m</p>
D10.5	Setbacks – Hillside and The Greens Precincts	<ul style="list-style-type: none"> Minimum front setback of 9m for Hillside Minimum front setback of 6.0m for The Greens <p>Note: C4.10 (p. C-83) requires a minimum front setback of 4.5m for a <i>greenfield site</i></p> <ul style="list-style-type: none"> Minimum front setback of 10m for garages in Hillside Minimum front setback of 7m for garages in The Greens <p>Note: C4.16 (p. C-84) requires a garage to be a minimum of 1m behind <i>building line or setback</i></p> <ul style="list-style-type: none"> Minimum rear setback of 5m in Hillside Minimum rear setback of 4.5m in The Greens <p>Note: C4.14 (p. C-83) requires a minimum ground rear setback of 2m</p> <ul style="list-style-type: none"> Minimum side setback of 1.2m, except for 0.9m for The Ridge <p>Note: C4.12 (p. C-83) requires a minimum ground floor side setback of 0.9m</p>
D10.6	Secondary Setbacks (Corner Lots)	<ul style="list-style-type: none"> Minimum secondary setback of 1.2m <p>Note: C4.11 (p. C-83) requires a minimum secondary setback of 2m</p>

D10

PACIFIC DUNES - MEADOWIE

Objectives		
D10.D	Site Dimensions	<ul style="list-style-type: none"> To achieve planning residential density in certain zones To ensure non-permeable surfaces are provided in accordance with the capacity of infrastructure
Requirements		
D10.7	Minimum Site Area	<ul style="list-style-type: none"> Minimum site area is provided in accordance with PSLEP 2013 Clause 4.1B Minimum site area for <i>dual occupancy, multi-dwelling housing and residential flat buildings</i>
D10.8	Non-permeable surfaces	<p>Note: B4.2 (p. B-28) requires <i>on-site detention</i> where <i>non-permeable surfaces</i> exceed the total percentage of <i>site area</i> listed under Figure BD (p. B-31)</p>
Objectives		
D10.E	Building Height	<ul style="list-style-type: none"> To ensure the <i>height of a building</i> is appropriate for the context and character of the area To ensure building heights reflect the hierarchy of centres and land use structure
Requirements		
D10.9	Building Height	<p>Note: C4.9 (p. C-83) requires that height be provided in accordance with PSLEP2013 Clause 4.3 Height of buildings and Clause 5.6 Architectural roof features</p>
Objectives		
D10.F	Building Character	<ul style="list-style-type: none"> To ensure Pacific Dunes Estate will be developed with a consistent character with a visual coherence of built form through consistent requirements for building envelope, materials and streetscape
Requirements		
D10.10	Garages	<ul style="list-style-type: none"> Garages are designed to be unobtrusive through the following design requirements: <ul style="list-style-type: none"> Maximum 5m garage door width <p>Note: C4.28 (p. C-85) requires a maximum garage door width of 6m upon residential lots or 50% of the building frontage, whichever is lesser</p> <ul style="list-style-type: none"> Garage door is panel lift finished in colorbond or timber of plain profile <p>Note: C4.13 (p. C-83) requires a minimum 1m behind <i>building line or setback</i></p>
D10.11	Driveway Width	<ul style="list-style-type: none"> A driveway should have a maximum width of 3.5m and be of a grey exposed aggregate in charcoal coloured concrete, except for: <ul style="list-style-type: none"> Maximum width of 5.0m in the Country Club Precinct <p>Note: C4.27 (p. C-85) requires a driveway to have a maximum width of 4m</p>

D10**PACIFIC DUNES - MEADOWIE**

D10.12	Articulation	<ul style="list-style-type: none"> ▪ Residential accommodation seeks to incorporate the following design elements: <ul style="list-style-type: none"> • Entry features • Pergolas, balconies and verandahs <p>Note: C4.21 (p. C-84) requires that development be sympathetic to the existing landscape character and built-form with regard to design, bulk, scale, form, materials and roof configuration</p> <ul style="list-style-type: none"> • Windows from habitable rooms that face the street and golf course <p>Note: C4.20 (p. C-84) requires that development is to address the street by having at least one habitable room, such as a living area to front the street and/or adjoining public spaces</p> <ul style="list-style-type: none"> • Secondary frontage to address both streets and golf course <p>Note: C4.20 (p. C-84) requires development on corner lots to address both street frontages by having habitable rooms face both streets</p> <ul style="list-style-type: none"> • Verandahs and pergolas with low window sills of less than 1200mm <p>Note: No general requirement</p>
D10.13	Roofing	<ul style="list-style-type: none"> ▪ Roofing displays the following features: <ul style="list-style-type: none"> ▪ Roofs are hipped or gabled ▪ Colorbond custom orb or flat-profile tile ▪ Minimum 450mm eave overhangs ▪ Minimum pitch of 22 degrees ▪ Roof mounted hardware, such as satellite dishes and antennae are to be mounted in locations least visible from the street and golf course <p>Note: No general requirement</p>
D10.14	Colours & Materials	<ul style="list-style-type: none"> ▪ Colours and materials are sympathetic to existing development through the following features: <ul style="list-style-type: none"> ▪ Rendered or bagged brickwork ▪ Feature colours enhance building articulation ▪ Selections are in accordance with the Precinct Design Guidelines³⁷ <p>Note: C4.21 (p. C-84) requires development to be sympathetic to the existing character and built-form</p>
Objectives		
D10.G	Fencing & Retaining Walls	<ul style="list-style-type: none"> ▪ To ensure consistency and urban amenity outcomes ▪ To provide for a consistent character throughout the development that allows the soft landscaping elements to dominate
Requirements		
D10.15	Front Fences	<ul style="list-style-type: none"> ▪ No fencing to front or secondary (corner lot) setbacks

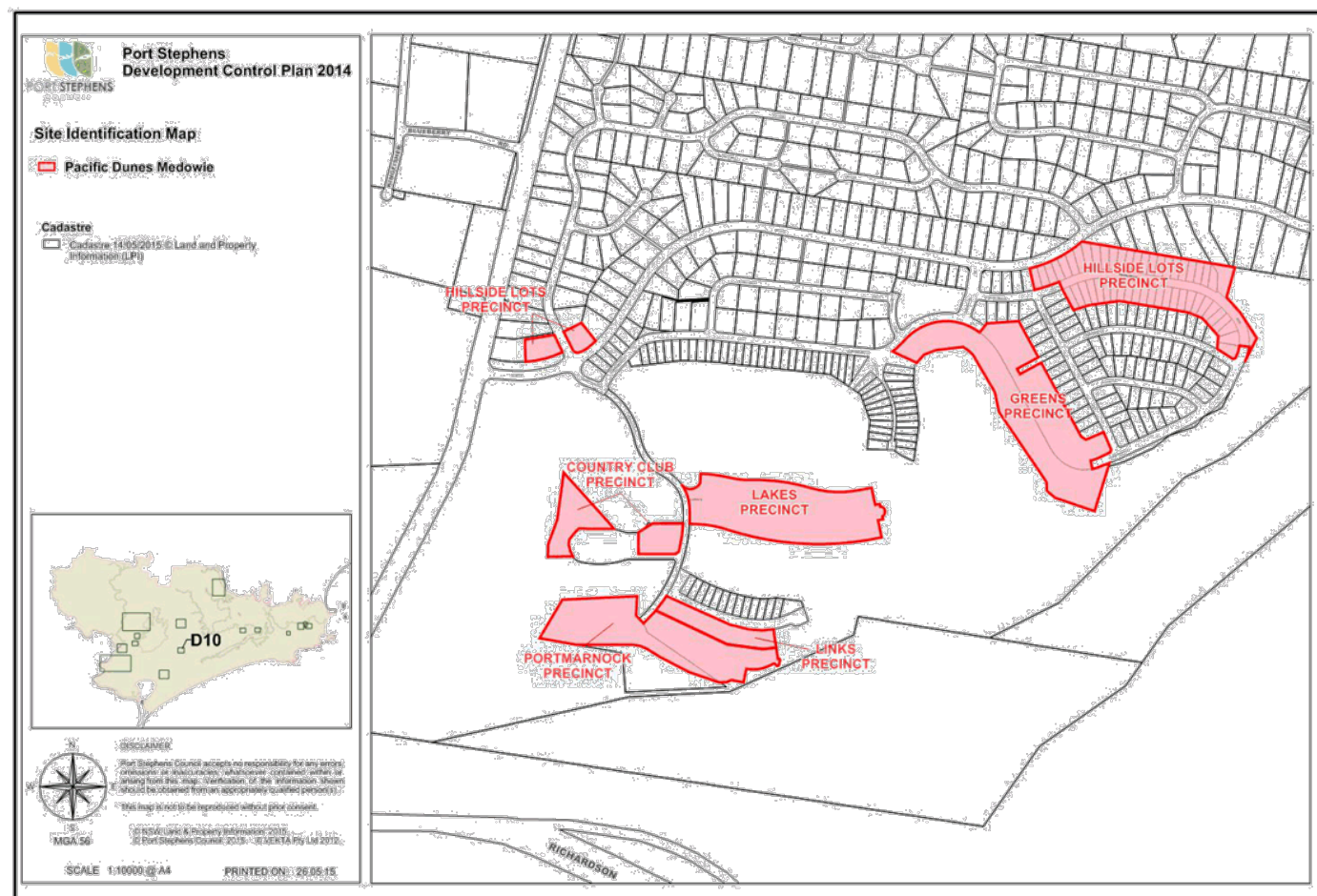
D10**PACIFIC DUNES - MEADOWIE**

D10.16	Side & Rear Fences	<ul style="list-style-type: none"> Side and rear fencing is lapped and capped timber fencing to a maximum height of 1.8m <ul style="list-style-type: none"> Maximum 1.0m behind the front facade <p>Note: C4.37 (p. C-86) requires side and rear fences to be a maximum height of 2.1m</p> <p>Note: C4.39 (p. C-87) requires solid fencing not be used</p>
D10.17	Golf Course Fences	<ul style="list-style-type: none"> Golf course fencing is to be 1.2m high palisade fencing in accordance with the Precinct Design Guidelines
D10.18	Retaining Walls	<ul style="list-style-type: none"> Retaining walls visible from the <i>public domain</i> is: <ul style="list-style-type: none"> Masonry construction, or Rendered or bagged and painted dark grey or a colour to match the residence <p>Note: C4.42 (p. C-87) requires retaining walls to be of a masonry construction within 0.9m of the property boundary when greater than 0.6m in height</p>
D10.19	Letterboxes	<ul style="list-style-type: none"> A letterbox is rendered masonry to the detail provided in the Precinct Design Guidelines³⁷ <p>Note: C4.21(p. C-84) requires <i>development</i> to be sympathetic to the existing landscape character and built-form with regard to design, bulk, scale form, materials and roof configuration</p>
Objectives		
D10.H	Street Layout	<ul style="list-style-type: none"> To ensure local streets are well-connected to the street network with obvious pedestrian and cycle links to higher order streets
Requirements		
D10.20	Street Layout	<ul style="list-style-type: none"> Road layout and <i>dual-use paths</i> are consistent with Figure DR (p. D-140) <p>Note: C1.6 (p. C-66) requires streets to comply with <i>Infrastructure Specification – Design</i>¹¹</p>

D10

PACIFIC DUNES - MEDOWIE

Figure DQ:
Pacific
Dunes -
Medowie
Land
Application
Map



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D10**PACIFIC DUNES - MEDOWIE****Figure DR: Pacific Dunes - Medowie Locality Controls Map**

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D11

RAYMOND TERRACE CENTRE

D11 Raymond Terrace **Town** Centre**Application**

- This Part applies to the land identified as Raymond Terrace Centre

Objectives

D11.A	Residential Setbacks	▪ To provide a consistent setback to encourage <i>street activation</i>
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Requirements

D11.1	Garage Setback	<ul style="list-style-type: none"> ▪ Garages in residential zones have a minimum front setback of 2m <p>Note: C4.16 (p. C-84) requires a minimum garage setback of 1m behind the <i>building line or setback</i></p>
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Objectives

D11.B	Facades	▪ To provide activate <i>street activation</i>
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Requirements

D11.2	Pedestrian Corridors	<ul style="list-style-type: none"> ▪ Pedestrian corridors provide a direct line of sight from entry to exit <p>Note: C2.F (p. C-74) requires <i>development</i> to be safe and secure for pedestrians and contributes to the <i>public domain</i> safely by incorporating principles of <i>Crime Prevention through Environmental Design (CPTED)</i></p>
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D11.3	Active Street Frontage	<ul style="list-style-type: none"> ▪ Provide an <i>active street frontage</i> to pedestrian arcades or laneways <p>Note: C2.16 (p. C-74) requires <i>development</i> to provide continuity of an <i>active street frontage</i> for localities where <i>business or retail premises</i> predominately face the street and have direct pedestrian access from the street as identified in Part D- Specific Areas</p>
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Objectives

D11.C	Solar Access	▪ To ensure <i>solar access</i> to the public domain
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Requirements

D11.4	William Street	<ul style="list-style-type: none"> ▪ <i>Development</i> does not impact on <i>solar access</i> to the southern side of William Street from 11am-4pm <p>Note: C1.14 (p. C-68) seeks to ensure <i>subdivision</i> provides consideration to <i>solar access</i></p>
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Objectives

D11.D	Design - Character	▪ To provide development that is in-keeping with the existing heritage character of King Street
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Requirements

D11.5	King Street Heritage	<ul style="list-style-type: none"> ▪ <i>Development</i> on King St will incorporate: <ul style="list-style-type: none"> • existing post verandahs and cantilevered awnings
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D11

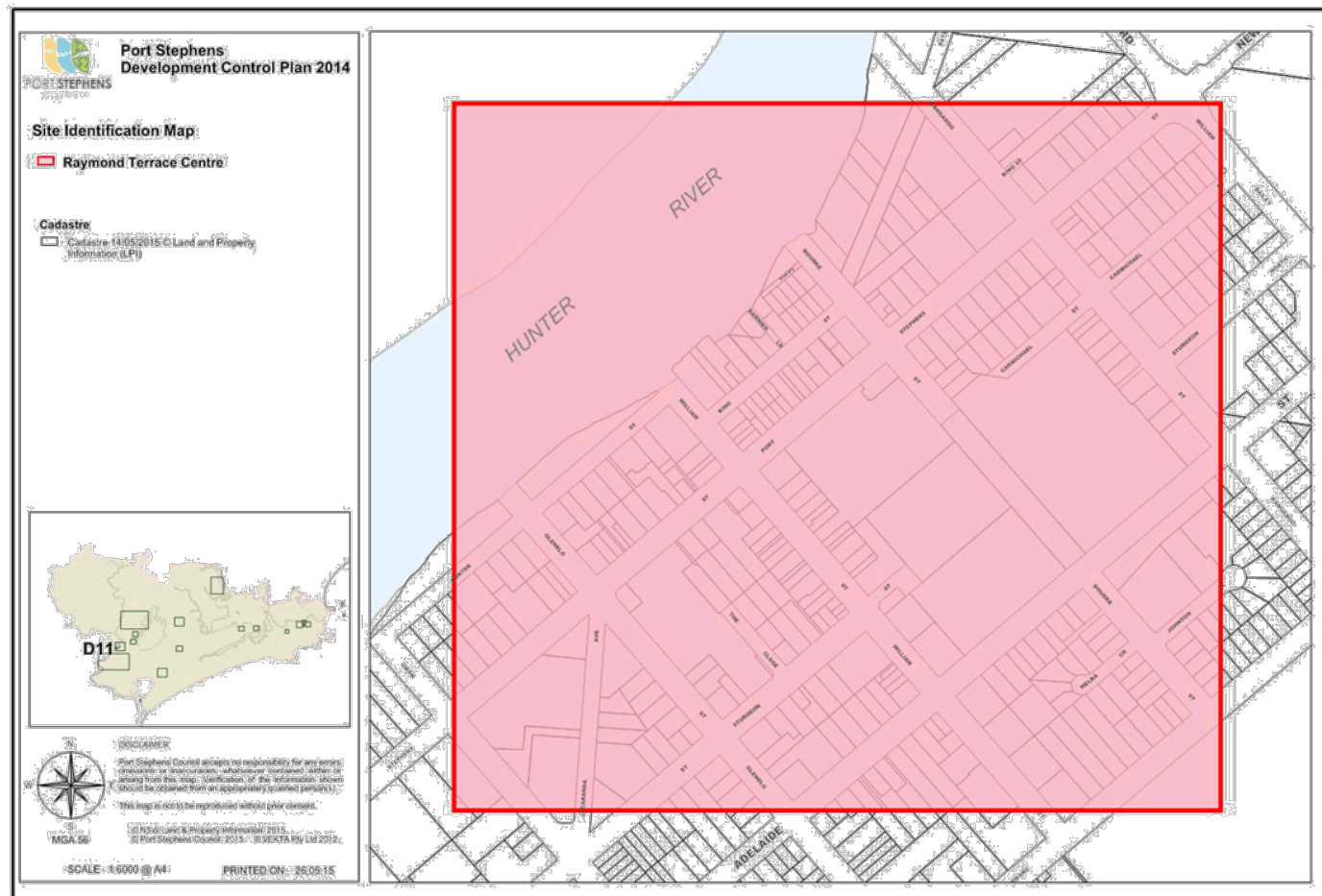
RAYMOND TERRACE CENTRE

	Character	<p>must be retained and these features are to be integrated into new additions where possible</p> <ul style="list-style-type: none"> light weight construction materials consistent with existing buildings <p>Note: B8.3 (p. B-53) requires maintenance or repairs, including painting of a <i>heritage item</i> or item located in the <i>heritage conservation area</i> that is consistent with the <i>statement of heritage significance</i> of the existing building or the heritage character of the surrounding areas</p>
Objectives		
D11.E	Street Layout	<ul style="list-style-type: none"> <i>Development</i> contributes to existing compact and interconnected street patterns
Requirements		
D11.6	Street Layout	<ul style="list-style-type: none"> <i>Development</i> of riverside lots north of King St provides waterfront access Sturgeon and Bourke streets are extended to a T-intersection to complete the grid-like network <p>Note: C1.7 (p. C-66) requires the street layout to provide a grid-like structure</p>
Objectives		
D11.F	Street Trees	<ul style="list-style-type: none"> To ensure suitable street trees are appropriately sited
Requirements		
D11.7	Street Trees	<ul style="list-style-type: none"> Residential <i>development</i> provides Jacaranda Palms <i>Development</i> along Port Stephens Street provides Phoenix Palms <p>Note: C1.9 (p. C-67) requires street trees as a component of the <i>road reserve</i> at <i>subdivision</i></p>
Objectives		
D11.G	Drainage and Water Quality	<ul style="list-style-type: none"> To effectively manage stormwater to ensure downstream impacts are minimised
Requirements		
D11.8	Detention Basin	<ul style="list-style-type: none"> Land indicatively drawn on Figure DT (p. D-144) is reserved for the purpose of a retention basin <p>Note: B4.2 (P. B-28) requires <i>on-site detention</i> where identified prior to subdivision under Part C – Specific Areas</p>

D11

RAYMOND TERRACE CENTRE

Figure DS:
Raymond
Terrace
Centre
Land
Application
Map

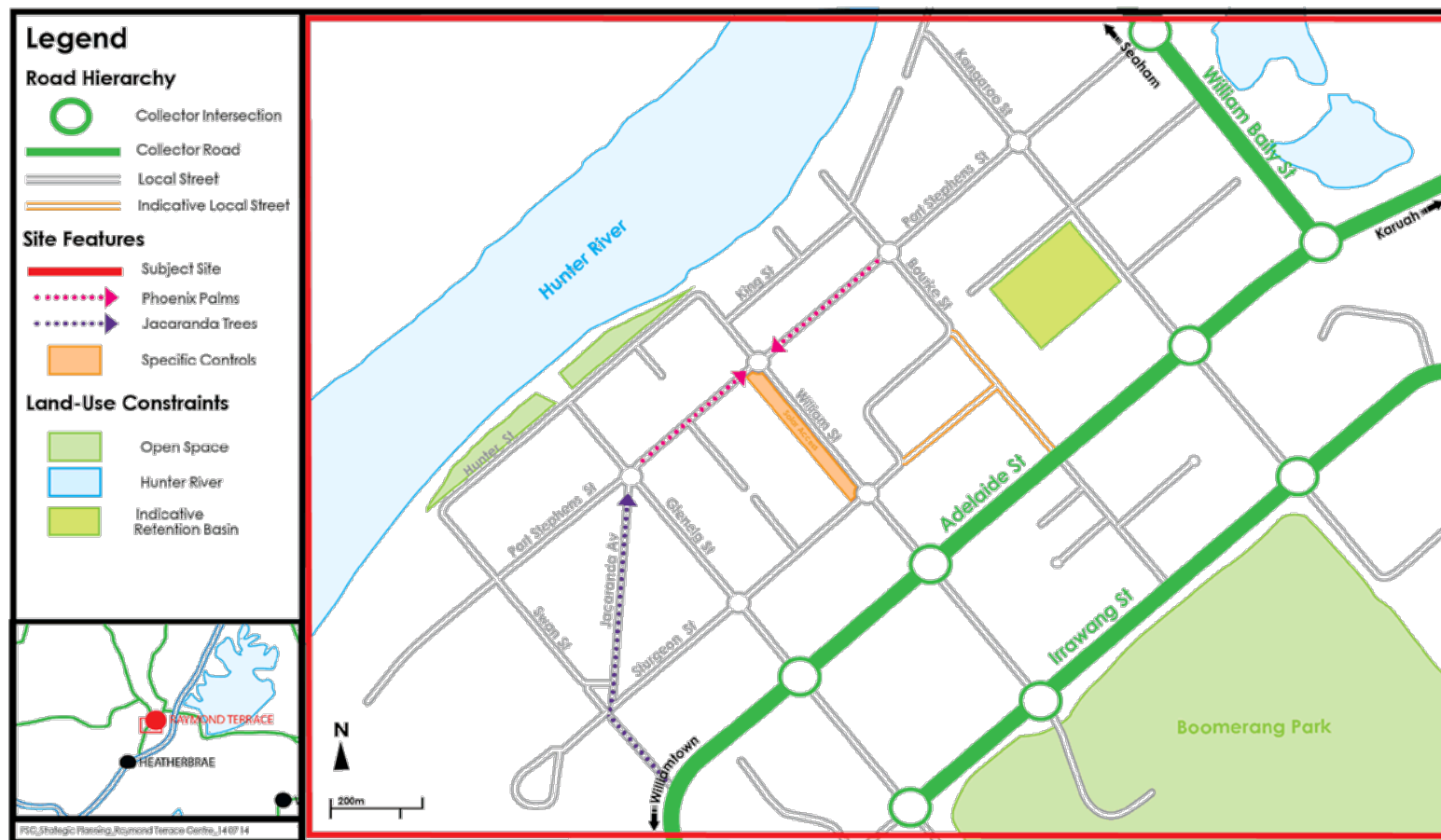


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D11

RAYMOND TERRACE CENTRE

Figure DT: Raymond Terrace Locality Controls Map



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D12

RICHARDSON RD – RAYMOND TERRACE

D12 Richardson Rd – Raymond Terrace

Application		
<ul style="list-style-type: none"> This Part applies to the land identified as Richardson Rd – Raymond Terrace 		
Objectives		
D12.A	Staging	<ul style="list-style-type: none"> To ensure that the staging of <i>subdivision</i> is informed by site analysis and infrastructure provision
Requirements		
D12.1	Stage 1	<ul style="list-style-type: none"> Stage 1 is completed prior to Stage 2 commencing
D12.2	Stage 2	<ul style="list-style-type: none"> Stage 2 can occur prior to Stage 1, if: <ul style="list-style-type: none"> Continuous road construction is provided to the intersection of Benjamin Lee Drive and Richardson Road Stormwater and sewerage connection to <i>public infrastructure</i> is provided <p>Note: PSLEP2013 Clause 6.3(3)(a) requires a staging plan</p>
Objectives		
D12.B	Street Layout	<ul style="list-style-type: none"> To ensure the street layout limits access to Pacific Hwy
Requirements		
D12.3	Street Layout	<ul style="list-style-type: none"> Street layout is consistent with Figure DV (p. D-148)
D12.4	5m Road Dedication	<ul style="list-style-type: none"> Lots abutting Richardson Rd dedicate 5m to the <i>road reserve</i> when access is provided at Stage 1
D12.5	Stage 2	<ul style="list-style-type: none"> Stage 2 provides the following: <ul style="list-style-type: none"> 4m sealed pavement with shoulders, under road pipeline crossings and the roadside table drains on the northern side of the road centreline for Halloran Way Passing bays at 200m spacing Upgrade Halloran Way as required <p>Note: C1.6 (p. C-66) requires streets to comply with <i>Infrastructure Specification – Design</i>¹¹</p>
Objectives		
D12.C	Essential Services	<ul style="list-style-type: none"> To ensure sewerage is provided To ensure drainage is informed by <i>site analysis</i>
Requirements		
D12.6	Sewerage	<ul style="list-style-type: none"> Sewerage is not required at Stage 1 Provide <i>drainage reserves</i> in accordance with Figure DU (p. D-126) and the Halloran Way Reports¹⁹ <p>Note: B6.1 (p. B-41) requires consideration is be provided to <i>essential services</i></p>

D12

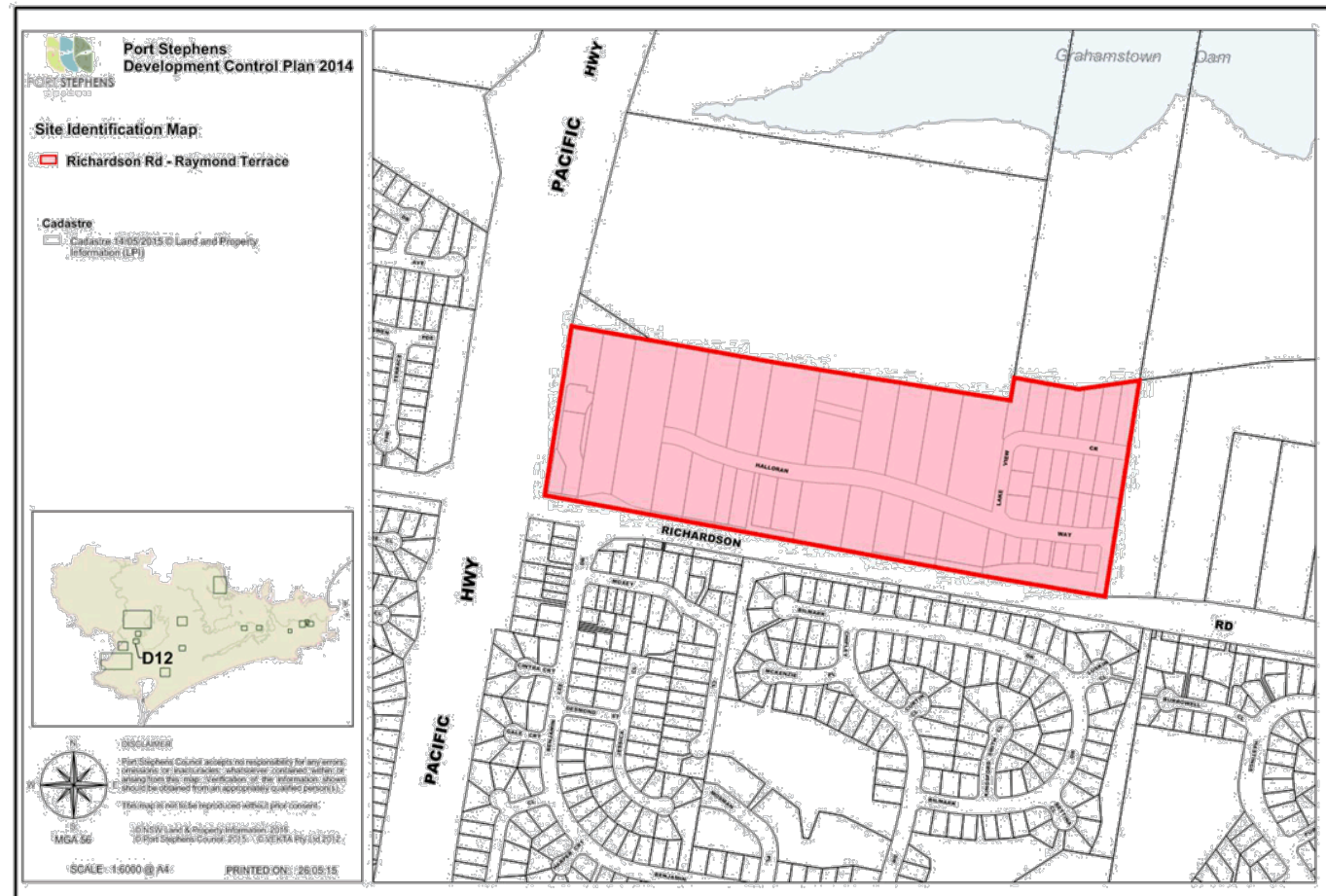
RICHARDSON RD – RAYMOND TERRACE

Objectives		
D1.C	Aircraft Noise	<ul style="list-style-type: none"> To ensure development satisfies the requirements of PSLEP2013 Clause 7.5 To ensure appropriate consideration is given to land burdened by aircraft noise
Requirements		
D12.3	Aircraft Noise	<p>Note: Richardson Road is located within the 20-25 ANEF contour. B7.1 (p. B-42) details what is to be considered when development is located within the <i>aircraft noise planning area</i>, which includes the 20-25 ANEF contours.</p>

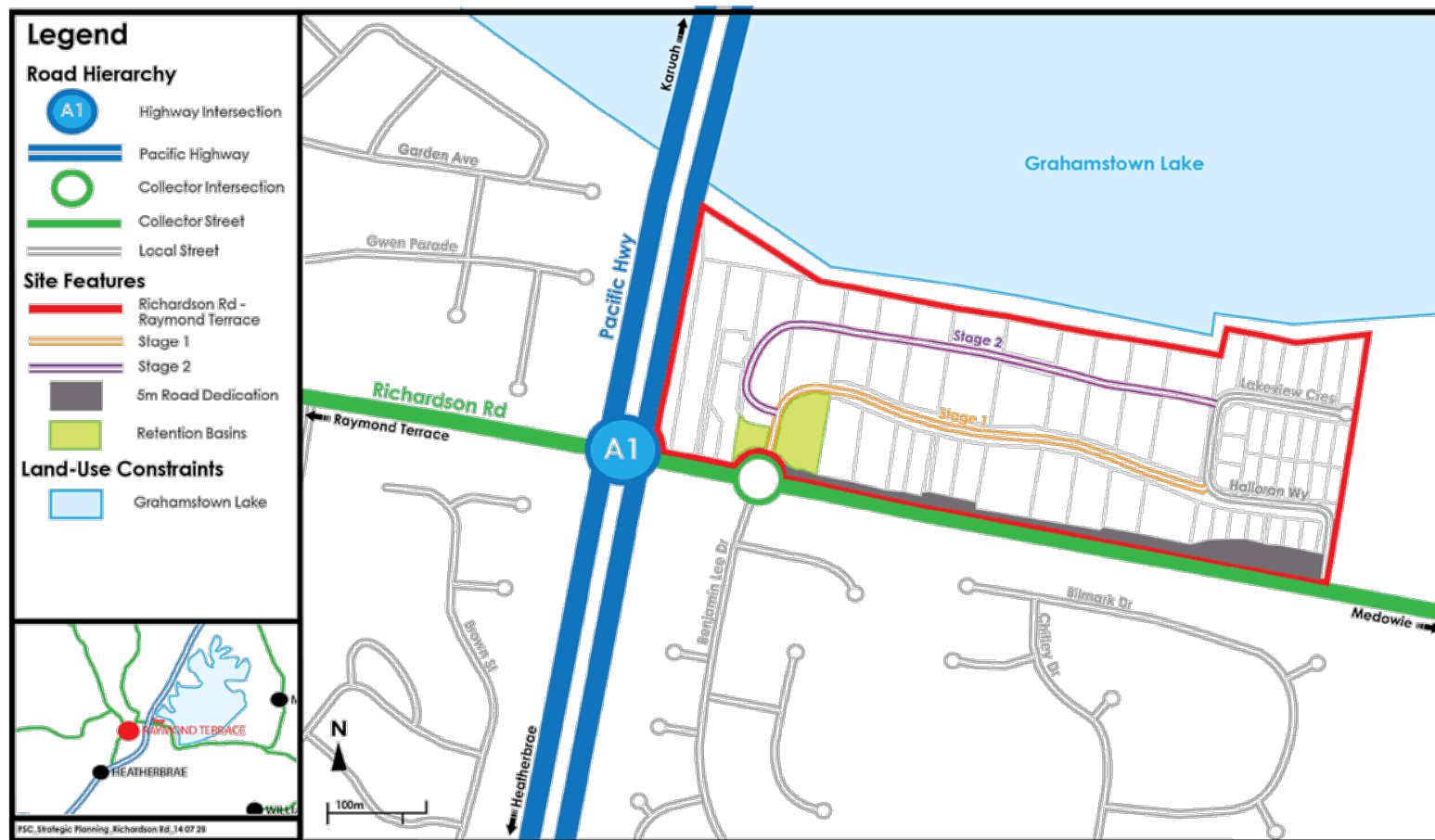
D12

RICHARDSON RD – RAYMOND TERRACE

Figure DU:
Richardson
Rd –
Raymond
Terrace Land
Application
Map



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D12**RICHARDSON RD – RAYMOND TERRACE****Figure DV: Richardson Rd – Raymond Terrace Locality Controls Map**

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D13

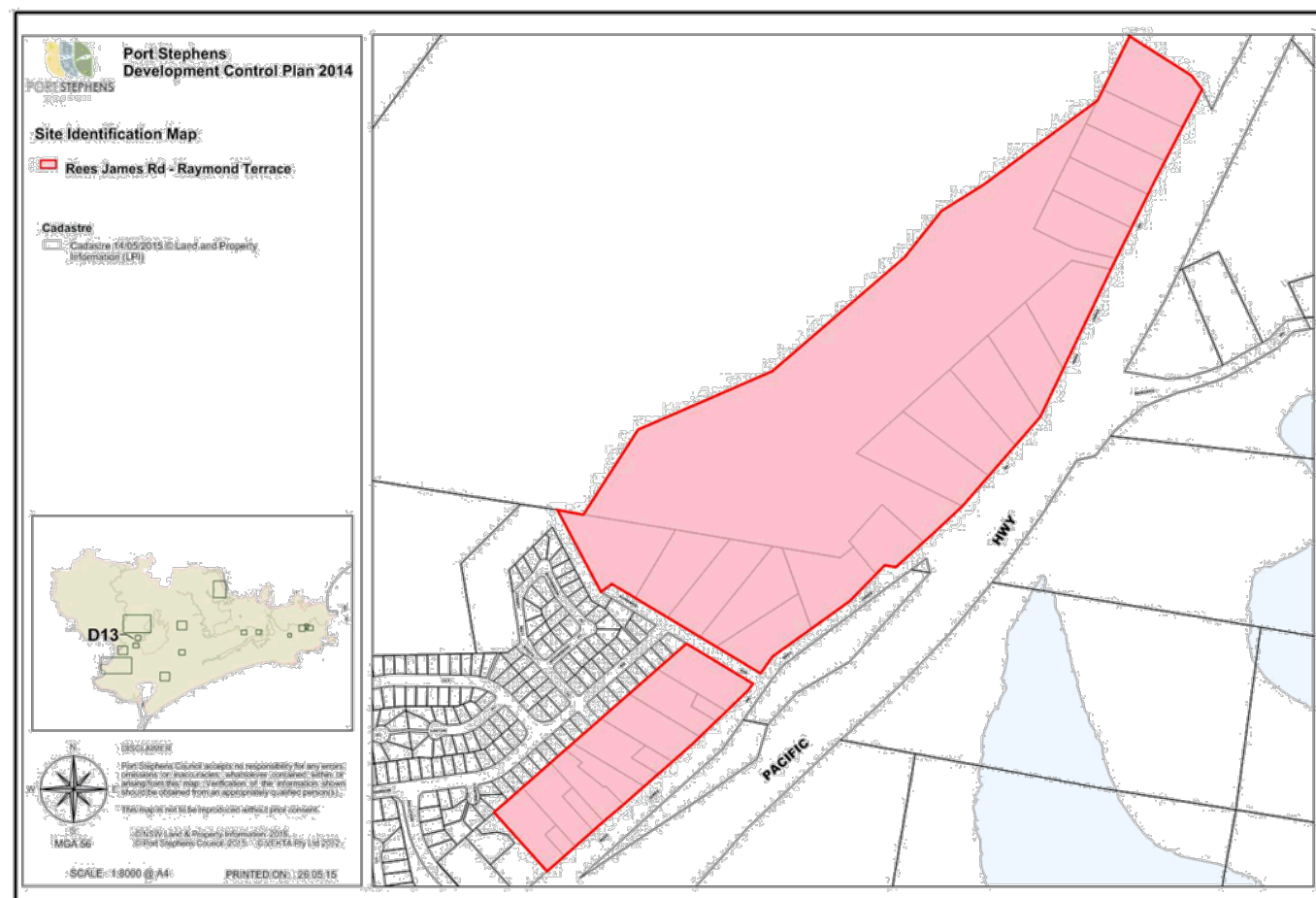
JAMES REES RD – RAYMOND TERRACE

D13 Rees James Rd – Raymond Terrace

Application		
<ul style="list-style-type: none"> This Part applies to the land identified as Rees James Rd – Raymond Terrace 		
Objectives		
D13.A	Street Layout	<ul style="list-style-type: none"> To ensure streets comply with the indicative street layout
Requirements		
D13.1	Street Layout	<ul style="list-style-type: none"> The street layout is consistent with Figure DW (p. D-129) Street layout variations are permitted where an access point is provided to Rees James or Dawson Road <p>Note: C1.6 (p. C-66) requires the street network to be interconnected to provide a grid-like structure</p>
Objectives		
D13.B	Lot Layout	<ul style="list-style-type: none"> To ensure street activation is provided through building orientation to Rees James Rd
Requirements		
D13.2	Adjoining James Rees Road	<ul style="list-style-type: none"> Development adjoining James Rees Road must be orientated towards and have a primary entrance that is visible and accessible from Rees James Road <p>Note: B9 (p. B-55) provides consideration to site access</p>
Objectives		
D13.C	Aircraft Noise	<ul style="list-style-type: none"> To ensure development satisfies the requirements of PSLEP2013 Clause 7.5 To ensure appropriate consideration is given to land burdened by aircraft noise
Requirements		
D13.3	Aircraft Noise	<p>Note: Rees James Road is located within the 20-25 and 25-30 ANEF contours. B7.1 (p. B-42) details what is to be considered when development is located within the <i>aircraft noise planning area</i>, which includes the 20-25 ANEF contours.</p>

JAMES REES RD – RAYMOND TERRACE

Figure DW:
Rees James
Rd –
Raymond
Terrace
Land
Application
Map



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JAMES REES RD – RAYMOND TERRACE

Figure DR: Rees James Rd – Raymond Terrace Locality Controls Map



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D14

KINGS HILL – RAYMOND TERRACE

D14 Kings Hill – Raymond Terrace**Application**

- This Part applies to the land identified as Kings Hill – Raymond Terrace
 - Kings Hill is an identified **urban release area** under Part 6 of PSLEP2013. The purpose of Part 6 is to ensure that development occurs in a logical and cost-effective manner, in accordance with a staging plan and only after a development control plan (DCP) that specifies specific controls for the land has been prepared
 - Clause 6.3 of PSLEP2013 sets out the matters that must be provided for in the DCP. This part specifies the additional information required to meet those requirements
 - The Locality Controls Map at Figure DAB (p. D-164) in this Part sets out the broad development pattern for Kings Hill. Individual development precincts are identified on this plan and on the Precinct Areas Map in PSLEP2013
 - This part specifies the additional information requirements to be included in a detailed **Precinct Plan** to be prepared for each Precinct
 - **Precinct Plans** will:
 1. be included as future amendments to this DCP; or
 2. be provided as a **staged development application** for each development precinct.
 - Subsequent **development applications** in each precinct will be consistent with the **Precinct Plan** or supported by a revised **Precinct Plan** demonstrating consistency with the requirements of clause 6.3 and of this part
- Figure DZ (p. D-162) describes how the requirements of Clause 6.3 of PSLEP2013 will be met

Objectives

D14.A	Structure Planning and Precinct Planning	<ul style="list-style-type: none"> ▪ To ensure consideration is provided to the relationship between residential, commercial, mixed use, open space, biodiversity and important infrastructure, such as the Pacific Highway and Grahamstown Dam ▪ To ensure development occurs in a logical and coordinated manner ▪ To ensure development is efficient and results in cost effective infrastructure and adequate access to services by residents ▪ To ensure the Town Centre facilitates a sense of place and community while complementing the economic and community function of the existing higher order Regional Centre of Raymond Terrace ▪ To ensure a hierarchy of centres within the Kings Hill urban release area with a high quality of design, a high amenity public domain and excellent connectivity to the adjacent residential areas
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Requirements

D14.1	Residential Precinct	<ul style="list-style-type: none"> ▪ A Precinct Plan is prepared to accompany the first stage of a development application in any of the
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D14

KINGS HILL – RAYMOND TERRACE

	Plans	<p>development precincts identified on the PSLEP2013 Precinct Areas Map</p> <ul style="list-style-type: none"> ▪ Development is generally consistent with the Locality Controls Map at Figure DAB (p. D-164) ▪ Development consent for the purposes of a super lot does not require preparation of a Precinct Plan ▪ Staging for the urban release area as a whole will be determined by the provision of essential services and may involve development occurring simultaneously in different parts of the locality ▪ Each Precinct Plan is to include a Staging Plan that is lodged with the first stage and provides for the timely and efficient release of urban land making provision for necessary infrastructure and sequencing ▪ Each stage of development may be subdivided into sub-stages. Any sub-stages should be identified in the Statement of Environmental Effects (SEE) to accompany the development application for subdivision, together with a description of the sub-stages and the impact of the sub-stage sequence on the provision of essential services ▪ Detail for any land zoned B2 Local Centre or B4 Mixed Use need not be provided until consent for initial subdivision of that land is sought.
D14.2	Town Centre and Village Centre Precinct Plans	<ul style="list-style-type: none"> ▪ Consent for initial subdivision of land zoned B2 Local Centre or B4 Mixed Use requires preparation of a Town or Village Centre Precinct Plan for the entire zoned area ▪ The Town or Village Centre Precinct Plan is to illustrate the conceptual location of streets, major pathways, major uses, public spaces, built-form and access provision as well as the relationship of the area to adjacent residential and open space areas
D14.3	Subdivision layout	<ul style="list-style-type: none"> ▪ Subdivision layout enables neighbouring sites/precincts to deliver the outcomes sought by the Locality Controls Map <p>Note: C1 Subdivision (p. C-64) details principles relating to subdivision layout and procedure with the following exceptions or qualifications:</p> <ul style="list-style-type: none"> ▪ C1.14 – Open Space: to be provided generally in accordance with the Locality Controls Map and with areas consistent with the section 94 plan requirements for Kings Hill
D14.4	Servicing	<ul style="list-style-type: none"> ▪ Consent for the subdivision of land other than for the creation of a super lot requires a servicing strategy <ul style="list-style-type: none"> • At a minimum, a servicing strategy includes: <ul style="list-style-type: none"> ○ Sequence, location and other details of the provision of public utilities ○ Availability of urban services and infrastructure to residents, including

D14

KINGS HILL – RAYMOND TERRACE

		<p>open space, pedestrian/cyclist paths</p> <ul style="list-style-type: none"> All commercial and residential allotments are to be serviced by reticulated water, sewerage, electricity and telecommunication services
Objectives		
D14.B	Traffic and Transport	<ul style="list-style-type: none"> To achieve connectivity between precincts, the local centre and nearby service areas To ensure Kings Hill has a defined transport structure and road hierarchy To ensure an east west road link is provided between Newline Road and the Pacific Highway in a direct, timely and efficient manner To ensure the pedestrian and cycle network provides convenient and safe access to the precinct centres, schools, community facilities, open space and other important destinations outside of Kings Hill to encourage walking and cycling To ensure the Pacific Highway interchange is the primary access point
Requirements		
D14.5	Transport Movement Hierarchy	<ul style="list-style-type: none"> Each Precinct Plan requires preparation of an overall transport movement hierarchy which: <ul style="list-style-type: none"> Shows the major circulation routes and connections to achieve a simple and safe movement system for private vehicles, public transport, pedestrians and cyclists Is generally consistent with the overall road network and the pedestrian and cycleway networks indicated on the Locality Controls Map at Figure DAB (p. D-164) Indicates progressive provision of the east-west and north-south connector roads as well as direct connections to adjacent precincts Positioning and design of the transport movement network provides priority to facilitating efficient walking, cycling and public transport networks and retaining and complementing natural topography, such as views and drainage
D14.6	Collector Roads	<ul style="list-style-type: none"> Development within each precinct provides internal collector roads generally consistent with the Locality Controls Map at Figure DAB (p. D-164) Subdivisions adjacent to collector roads orientate allotments and dwellings to face and have access from the collector road
D14.7	East-West Road 4 lane section	<ul style="list-style-type: none"> The eastern end of the east-west collector road, for a length of approximately 1000 metres, is to have two travel lanes in each direction This section of the east-west road is constructed generally in accordance the Illustration at Figure DZ

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KINGS HILL – RAYMOND TERRACE

		(p. D-144)
D14.8	Subdivision Certificate	<ul style="list-style-type: none"> Within each precinct, collector roads are constructed to the boundary of the adjoining precinct prior to the release of a subdivision certificate for a cumulative total of no more than 75% of the lots Within precinct 6, the east west road is constructed from the western boundary of the Precinct to Newline Road and collector roads connect to the southern boundary of precinct 7 prior to the release of a subdivision certificate for a cumulative total of no more than 50% of the lots <p>Note: C1.B (p. C-66) details when a subdivision certificate is to be released once a plan for subdivision has been approved, payment of section 94 contributions made and section 50 Certificate from Hunter Water received</p>
D14.9	Newline Road	<ul style="list-style-type: none"> Maximum number of lots with sole access to Newline Road is 1200. Consent for lots in excess of this number requires connection to the Pacific Highway via the east-west collector road <p>Note: PSLEP2013 Clause 6.6 states that development consent must not be granted for the subdivision of land in an urban release area unless arrangements have been made, to the satisfaction of Roads and Maritime Services and the consent authority, for the provision of vehicular access from the urban release area to the Pacific Highway, including the closure or modification of any existing vehicular access from any land adjoining the Pacific Highway, if necessary</p>
D14.10	Pre- Pacific Highway Interchange Access	<ul style="list-style-type: none"> Development with sole access from Newline Road requires upgrade works to provide 5% AEP flood immunity for the Kings Hill development flood access route consisting of local road raising of two sections of Six Mile Road, being: <ul style="list-style-type: none"> An approximate 100m section at location K on the Locality Controls Map at Figure DAB (p. D-164) near the intersection of Winston Road. These works also require appropriate raising of Winston Road in the vicinity of the intersection An approximate 60m section at location Q on the Locality Controls Map at Figure DAB (p. D-164) near the intersection of Newline Road <p>Note: PSLEP2013 Clause 6.6 states that development consent must not be granted to development on land identified as 'Kings Hill' on the Precinct Areas Map unless the consent authority is satisfied that there will be suitably located vehicular access from that land to the Pacific Highway, having regard to flood risk</p> <p>Note: A "Kings Hill Flood Free Access Study" was prepared on behalf of Council by BMT WBM in 2012 to identify necessary road upgrade requirements</p>
D14.11	Public	<ul style="list-style-type: none"> Designated public transport routes as identified on the

D14

KINGS HILL – RAYMOND TERRACE

	Transport	<p>Locality Controls Map at Figure DAB (p. D-164) are constructed as bus routes in accordance with <i>infrastructure specification – design</i>¹¹</p> <ul style="list-style-type: none"> ▪ Bus stops are to be identified prior to final completion
D14.12	Paths	<ul style="list-style-type: none"> ▪ Pedestrian and cycle paths are provided generally in accordance with the Locality Controls Map at Figure DAB (p. D-164)
D14.13	Pedestrian Path	<ul style="list-style-type: none"> ▪ A pedestrian path is provided on one side and a shared pedestrian cycle path of: <ul style="list-style-type: none"> • All collector roads • All roads that are within a B2 Local Centre Zone or B4 Mixed Use zone • All roads within 400m of and providing the primary frontage to a school or major community facility <p>Note: B9 Road Network & Parking generally requires road to be constructed in accordance with <i>infrastructure specification design</i>¹¹</p>
D14.14	End of Trip Facilities	<ul style="list-style-type: none"> ▪ End of trip facilities are provided at precinct centres, community facilities and <i>regional parks</i>. End of trip facilities incorporate the following: <ul style="list-style-type: none"> • One personal secure locker for each bicycle parking space under Figure BH (p. B-46) • One shower cubicle, with ancillary change rooms, per 13 bicycle spaces (or part thereof over four spaces) with a minimum of one shower and change facility
Objectives		
D14.C	Social Infrastructure	<ul style="list-style-type: none"> ▪ Social infrastructure is to be located appropriately to meet the needs of the community
Requirements		
D14.15	Community & Recreation Facilities	<ul style="list-style-type: none"> ▪ <i>Precinct Plans</i> identify the location of required community and recreation facilities, generally in accordance with the Locality Controls Map at Figure DAB (p. D-164)
D14.16	Community Facilities	<ul style="list-style-type: none"> ▪ Community facilities such as the multi-purpose community centre are preferably located within the Town Centre as identified on the Locality Controls Map at Figure DAB (p. D-164)
D14.17	Schools	<ul style="list-style-type: none"> ▪ The preferred locations of schools are identified on the Locality Controls Map at Figure DAB (p. D-164). School sites will be subject to the site-selection criteria and agreement of the NSW Department of Education and Training and will be indicated on the relevant <i>Precinct Plans</i>. The developer is to consult with the Department of Education and Port Stephens Council to determine a suitable school locations
Objectives		

D14

KINGS HILL – RAYMOND TERRACE

D14.D	Drainage & Water Quality	<ul style="list-style-type: none"> To ensure environmentally sustainable and affordable water management is provided with a catchment based approach that recognises the flows between Precincts, landholdings and the sensitive nature of the receiving waters
Requirements		
D14.18	Eastern Catchment & Grahamstown Dam	<ul style="list-style-type: none"> All stormwater from development areas up to 0.2% <i>AEP</i> design flood event is prevented from discharging into Grahamstown Dam <ul style="list-style-type: none"> This may require construction of a watercourse along the eastern extent of developable areas of the Kings Hill <i>urban release area</i> to divert surface runoff away from Grahamstown Dam and into Irawang Swamp <p>Note: PSLEP2013 Clause 7.8 requires consideration to be given to impacts on Drinking Water Catchments</p>
D14.19	Water Management Strategy	<ul style="list-style-type: none"> Consent for <i>development</i> within the eastern and western catchments first requires lodgement of a <i>stormwater drainage plan</i> addressing drainage and water quality management for the entire catchment, to the satisfaction of the consent authority <ul style="list-style-type: none"> Each <i>Precinct Plan</i> is to identify stormwater drainage and water quality management controls for relevant sub-catchments consistent with the relevant catchment-wide <i>stormwater drainage plan</i> <p>Note: Kings Hill Urban Release Area Water Management Strategy Guidelines were prepared on behalf of Council by BMT WBM in 2013. The Guidelines identify sub-catchments in the eastern and western catchment of the <i>urban release area</i>. The Guidelines include a 'Model Water Management Strategy' for future development of the <i>urban release area</i>, preliminary stormwater quantity and quality modelling, and identification of options to achieve the required outcomes for the eastern catchment. A preferred option is identified</p> <p>Note: PSLEP2013 Clause 7.8 requires consideration to be provided to impacts on the Drinking Water Catchment</p>
Objectives		
D14.E	Natural Resources	<ul style="list-style-type: none"> To ensure that development responds to the biodiversity values of the site
Requirements		
D14.20	Vegetation Management Plan	<ul style="list-style-type: none"> Applications for <i>development</i> on land zoned E2 or subject to terrestrial biodiversity controls in PSLEP2013 within each environmental precinct provide a <i>Vegetation Management Plan (VMP)</i> to the satisfaction of Council in accordance with the <i>vegetation management technical specification</i>². The VMP is provided with the precinct plan for the relevant environmental precinct boundaries identified by

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KINGS HILL – RAYMOND TERRACE

		<p>Figure DAB (p. D-164). The VMP also addresses the following location specific information:</p> <ul style="list-style-type: none"> • Requirements to protect the creek line and other areas to be conserved, such as fencing, sediment control devices and appropriate signage; and • Details of re-vegetation, restoration and weed control, including riparian corridors. Areas affected by degradation, erosion and/or rubbish dumping should also be rehabilitated <ul style="list-style-type: none"> o A draft is provided with the development application and the final signed off by Council prior to the release of the Construction Certificate <p>Note: If <i>development</i> does not pose a significant effect under 5A of the EP&A Act, but proposes unavoidable vegetation impacts then a <i>Vegetation Management Plan (VMP)</i> that is consistent with the <i>vegetation management technical specification</i>² is required</p>
D14.21	Illegal Dumping	<ul style="list-style-type: none"> • Measures, such as fencing and block configuration seek to restrict unauthorised access to E2 Environmental Conservation land to prevent rubbish dumping and damage by uncontrolled vehicle usage
D14.22	Riparian Corridors	<ul style="list-style-type: none"> • <i>Development</i> involving a <i>controlled activity</i> within <i>waterfront land</i> is to comply with the requirements of the NSW Water Management Act 2000 <p>Note: B4.D (p. B-30) provides further localised detail for buffers for <i>riparian corridors</i></p>
Objectives		
D14.F	Waste Treatment Facility	<ul style="list-style-type: none"> • To ensure hazards from former landfills are managed • To ensure appropriate buffers that will minimise potential land use conflict between existing and proposed development
Requirements		
D14.23	Waste Treatment Facility	<ul style="list-style-type: none"> • All <i>development</i> within 250m of the Newline Road Waste Disposal Facility or any land in proximity as identified by Council has the potential to have methane concentrations of greater than 1.25% (v/v) in the subsurface and is to be tested with a tested/calibrated methane detector over regular intervals 12 months prior to a subdivision application being lodged with Council for determination • Development and monitoring should comply with the relevant sections of the NSW Environmental Protection Agency 'Environmental Guidelines: Solid Waste Landfills', January 1996, or its successor <p>Note: B3.E (p. B-25) requires consideration of the impacts of, and buffering from, environmental hazards</p> <p>Note: Clause 7.11 of the PSLEP2013 requires development to be designed, sited or managed to avoid any adverse odour, noise and visual impacts arising out of the</p>

D14

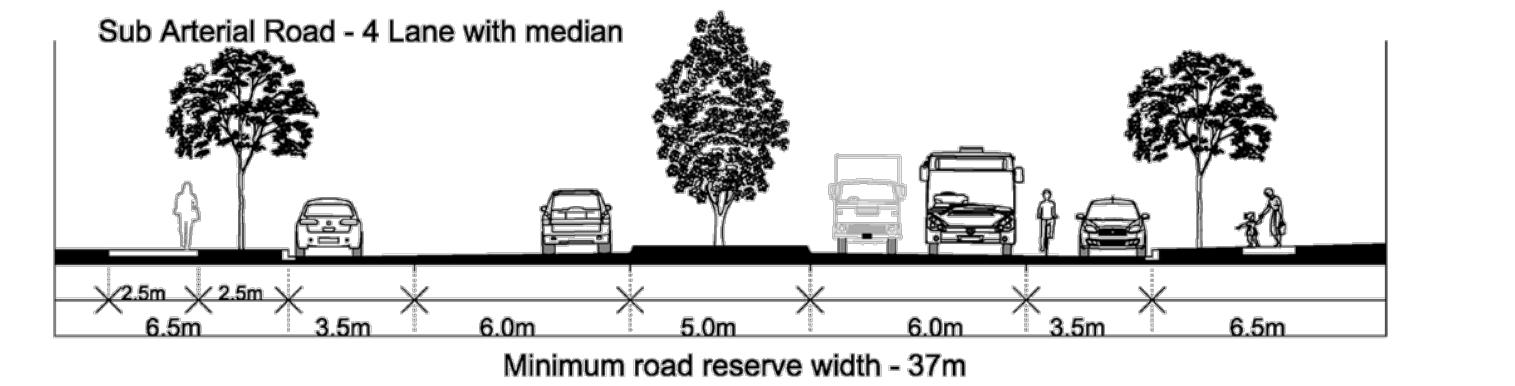
KINGS HILL – RAYMOND TERRACE

		authorised use and operation of any public infrastructure
Objectives		
D14.G	Pacific Highway Impacts	<ul style="list-style-type: none"> To ensure that <i>development</i> in Kings Hill is not adversely affected by noise and vibration from the Pacific highway To ensure development is buffered from view of traffic on the Pacific Highway
Requirements		
D14.24	Acoustic / Vibration	<ul style="list-style-type: none"> Consent for <i>development</i> in precincts 1 to 4 requires an acoustic/vibration report consistent with B3.5 (p. B-25) and the following: <ul style="list-style-type: none"> Development meets the requirements of AS 3671-1989 Acoustics – Road Traffic Noise Intrusion – Building, Siting and Construction Acoustic/Vibration measures undertaken to comply with the conditions of development consent for a subdivision may remove the need for additional acoustic/vibration assessments and attenuation measures for subsequent developments <p>Note: B3.5 (p. B-25) requires an acoustic/vibration report for <i>development</i> that has the potential to produce or be impacted by <i>offensive noise</i></p>
D14.25	Land-Use Buffers	<ul style="list-style-type: none"> Development at Kings Hill is visually buffered from the Pacific Highway by a minimum of 10 metres of landscaping. This landscaping will be implemented through individual <i>development applications</i> and may be indicated on and <i>Precinct Plans</i>, the <i>stormwater drainage plan</i> for the eastern catchment, and/or plans for construction of the Highway interchange
Objectives		
D14.H	Aircraft Noise	<ul style="list-style-type: none"> To ensure development satisfies the requirements of PSLEP2013 Clause 7.5 To ensure appropriate consideration is given to land burdened by aircraft noise
Requirements		
D14.26	Aircraft Noise	<p>Note: Kings Hill is located in proximity to the Port Stephens <i>aircraft noise planning area</i>. B7.1 (p. B-42) details what is to be considered when development is located within the <i>aircraft noise planning area</i>.</p>

D14

KINGS HILL – RAYMOND TERRACE

Figure DX: Illustration of Cross Section of Four Lane part of East West Road



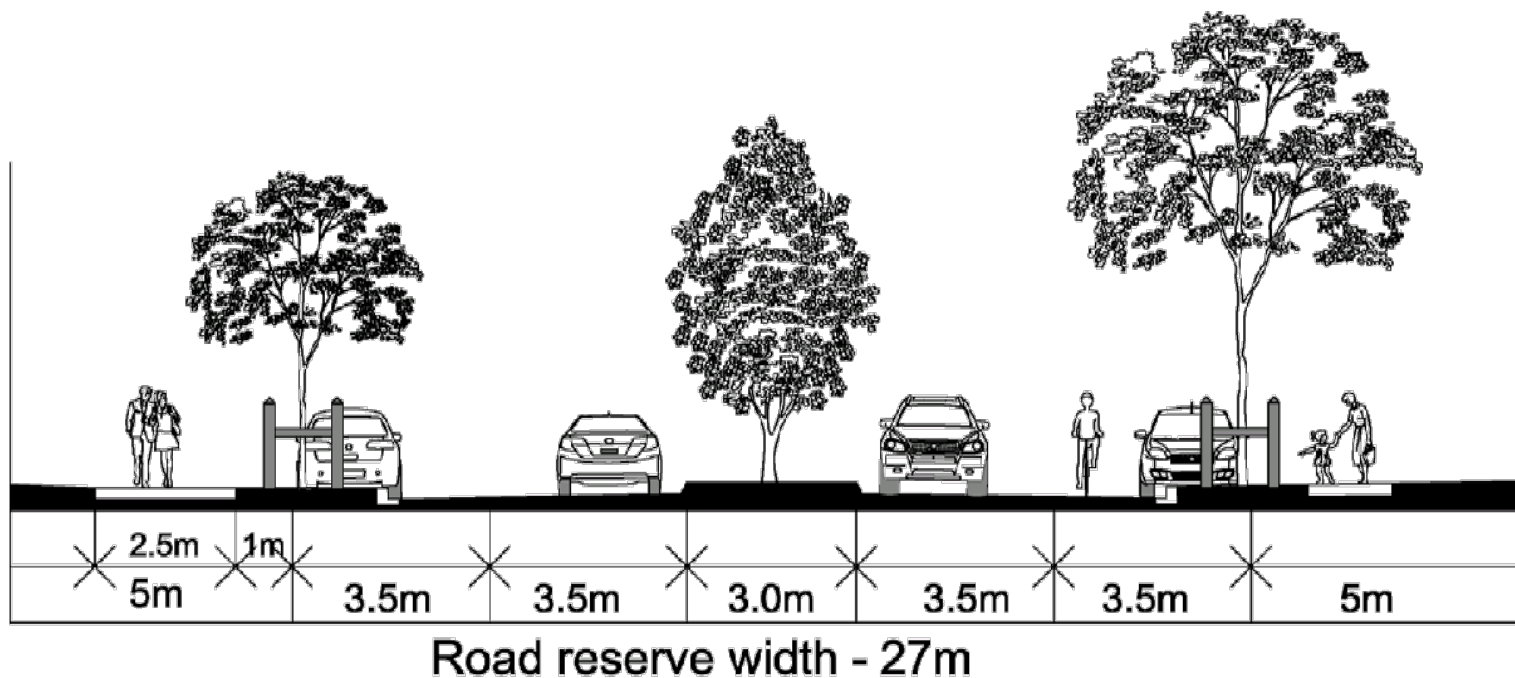
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D14

KINGS HILL – RAYMOND TERRACE

Figure DY: Illustration of Cross Section of Two Lane part of East West Road

Major Collector - indented parking



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D14

KINGS HILL – RAYMOND TERRACE

Figure DZ: Meeting the requirements of Clause 6.3 of PSLEP2013

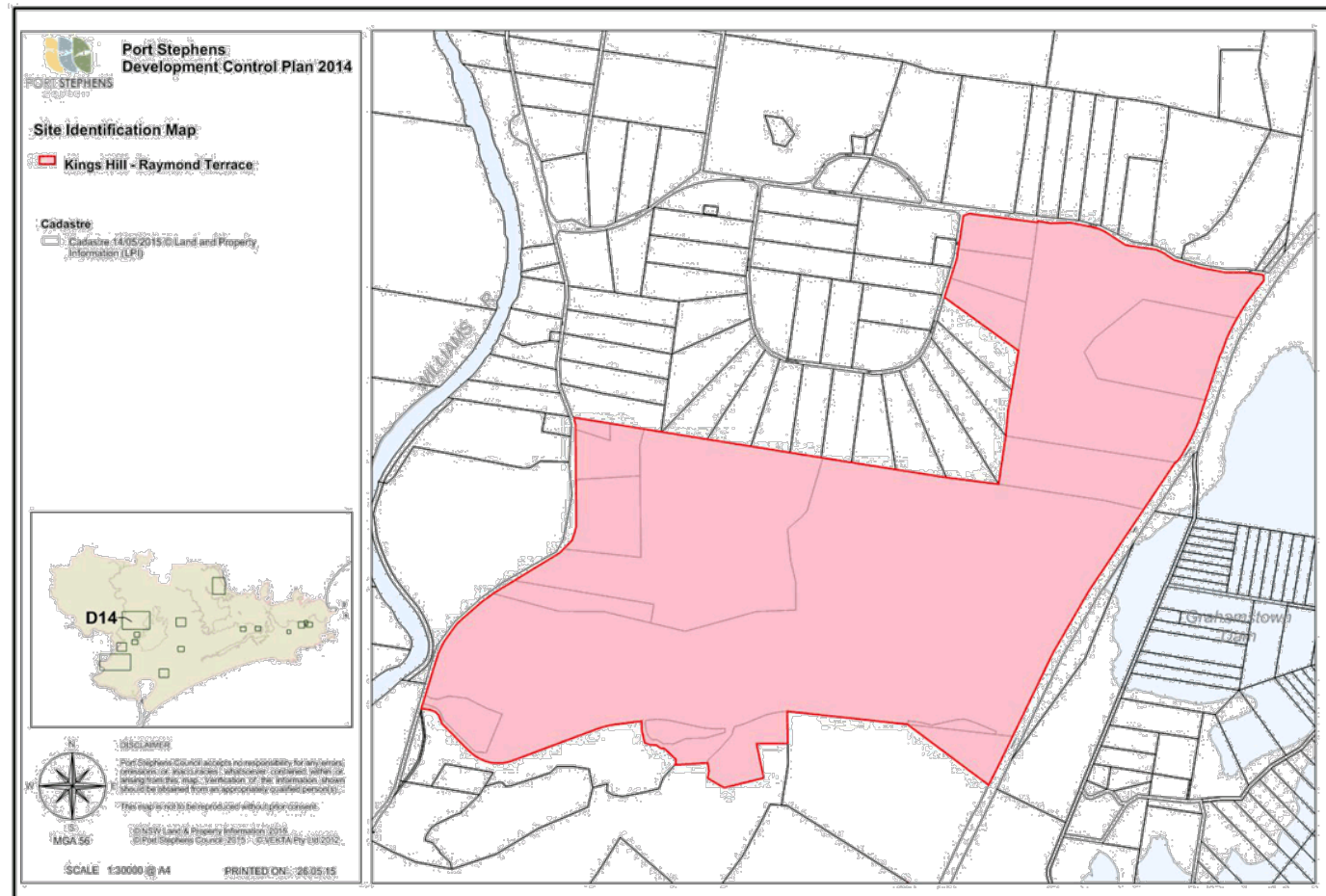
PSLEP2013 Clause 6.3 DCP requirements	How requirements are met
(a) a staging plan for the timely and efficient release of urban land making provision for necessary infrastructure and sequencing	Met by provision of a Staging Plan (D14.1 in this part) with the application for the first stage of <i>development</i> in each precinct
(b) an overall transport movement hierarchy showing the major circulation routes and connections to achieve a simple and safe movement system for private vehicles, public transport, pedestrians and cyclists	Met by provision of a transport movement hierarchy as part of the <i>Precinct Plan</i> provided for each precinct (D14.5 in this part)
(c) an overall landscaping strategy for the protection and enhancement of riparian areas and remnant vegetation, including visually prominent locations, and detailed landscaping requirements for both the public and private domain	Met by the requirements of Part c1-14 Open Space and by the requirements of D14.20 and D14.22 in this part
(d) a network of passive and active recreational areas	Met by the requirements of D14.2, D14.3, D14.20 and D14.22 in this part
(e) stormwater and water quality management controls	Met by the requirements of D14.D and D14.22 in this part
(f) amelioration of natural and environmental hazards, including bushfire, flooding and site contamination and, in relation to natural hazards, the safe occupation of, and the evacuation from, any land so affected	Met by the requirements of D14.D, D14.E and D14.F in this part
(g) detailed urban design controls for significant development sites	Met by the requirement for detailed Town and Village Centre <i>Precinct Plans</i> in D14.2 of this part
(h) measures to encourage higher density living around transport, open space and service nodes	Met by the requirement (D14.1) for <i>development</i> in each precinct to generally consistent with the structure indicated in the Locality Controls Map at Figure DAB (p. D-##) and for <i>Precinct Plans</i> to indicate a transport movement hierarchy and servicing strategy; and by provision of detailed Town and Village Centre <i>Precinct Plans</i> (D14.2 in this part)
(i) measures to accommodate and control appropriate neighbourhood commercial and retail uses	Met by the provision of detailed Town and Village Centre <i>Precinct Plans</i> for all land zoned B2 Local Centre and B4 Mixed Use (D14.2 in this part)
(j) suitably located public facilities and services, including provision for appropriate traffic management facilities and parking	Met by provision of Town and Village Centre <i>Precinct Plans</i> for land zoned B2 Local Centre and B4 Mixed Use (D14.2 of this part), and by the requirements of D14.5, D14.12, D14.13, D14.14, D14.C of this part.

D14

KINGS HILL – RAYMOND TERRACE

Figure DAA:

Kings Hill –
Raymond
Terrace
Land
Application
Map

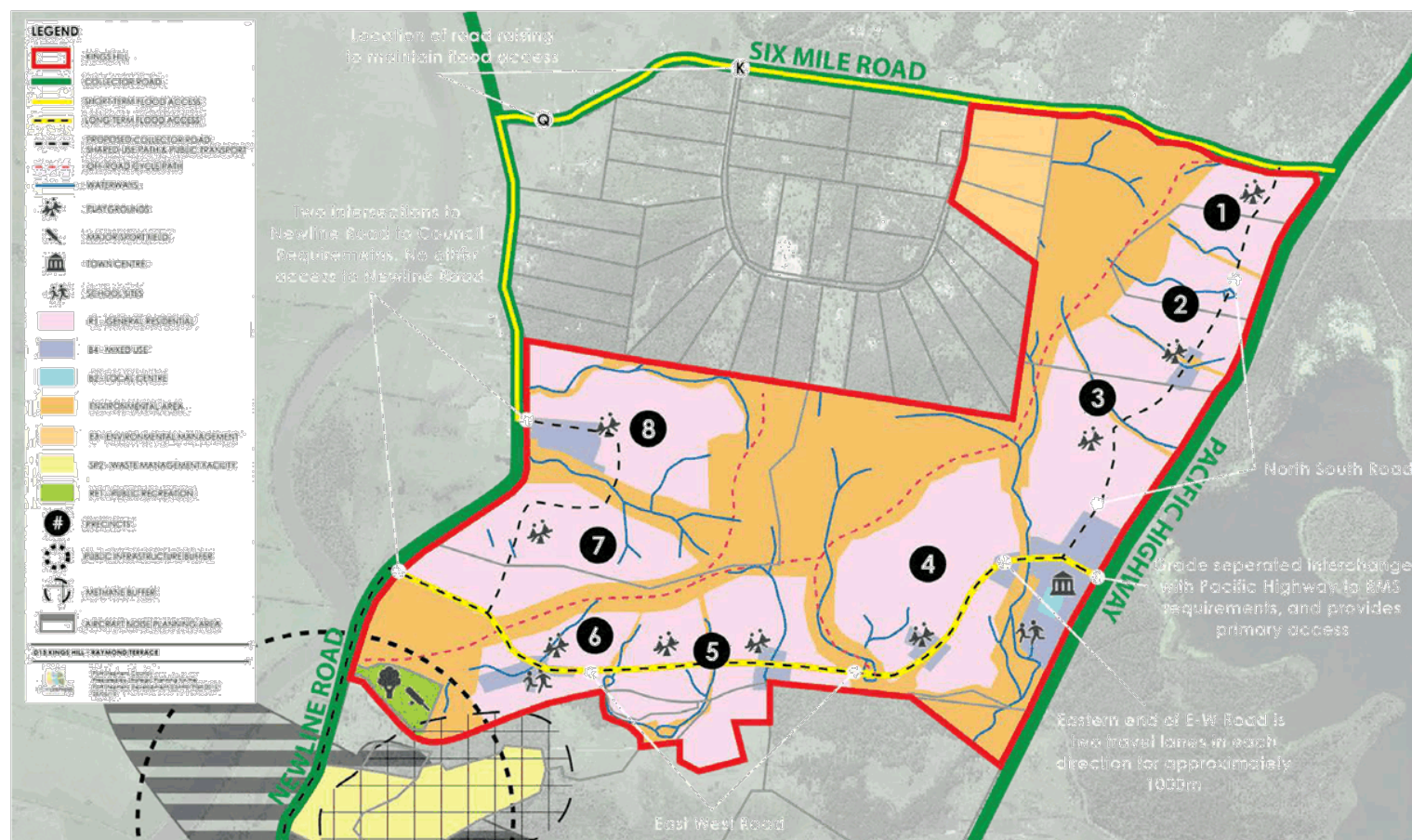


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D14

KINGS HILL – RAYMOND TERRACE

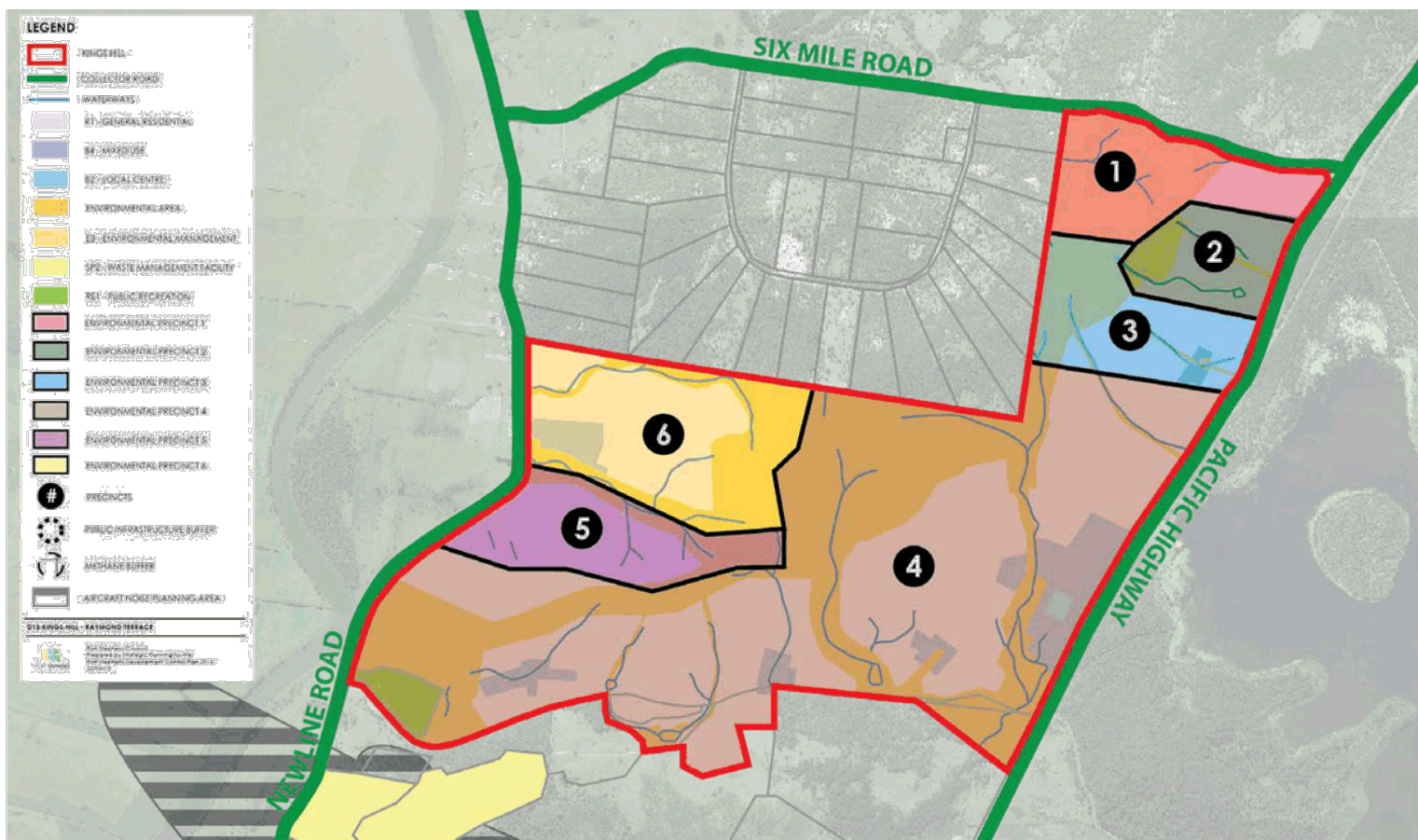
Figure DAB: Kings Hill – Raymond Terrace Locality Controls Map



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KINGS HILL – RAYMOND TERRACE

Figure DAC: Kings Hill – Raymond Terrace Locality Controls Map

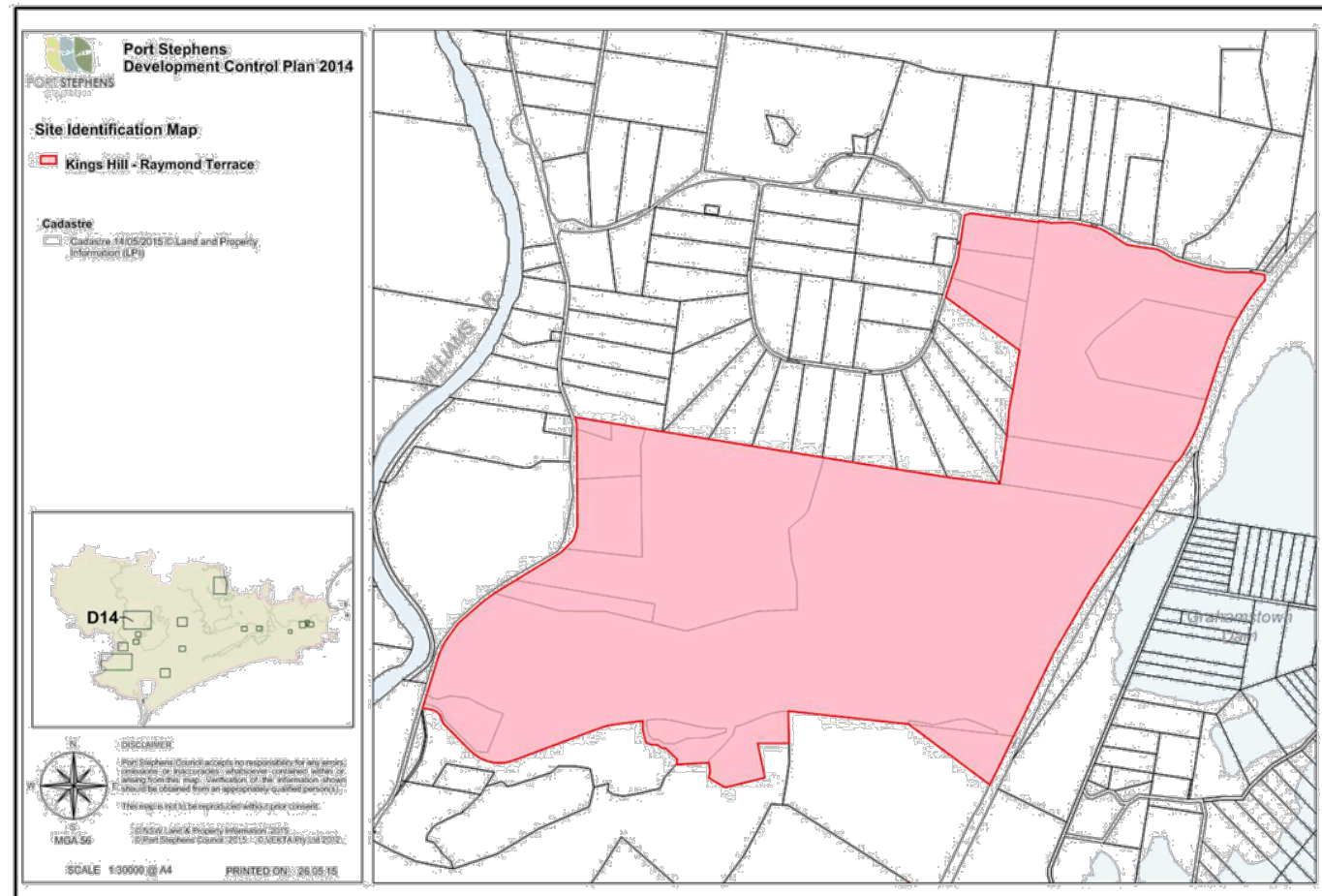


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D14

KINGS HILL – RAYMOND TERRACE

Figure DD:
Kings Hill –
Raymond
Terrace
Land
Application
Map



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D15

WILLIAMTOWN DEFENCE AND AIRPORT RELATED EMPLOYMENT ZONE (DAREZ)

D15 Williamtown Defence and Airport Related Employment Zone (DAREZ)**Application**

- This Part applies to the land identified as the Williamtown Defence and Airport Related Employment Zone (DAREZ)

Objectives

D15.A	Lodgement Requirements	<ul style="list-style-type: none"> To ensure <i>development</i> is informed by an analysis of its setting To provide for a <i>development</i> that is dominated by native planting that complements the existing vegetation of the area and enhances natural beauty
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Requirements

D15.1	Lodgement Requirements	<ul style="list-style-type: none"> A <i>Development Application</i> is accompanied by a <i>Landscape Plan</i> consistent with the Williamtown Aerospace Park Landscape Master Plan²¹ <p>Note: C2.2 (p. C-72) requires that a <i>Landscape Plan</i> be provided in accordance with the <i>Landscape Technical Specification</i>⁴</p> <ul style="list-style-type: none"> A schedule of colours and finishes is submitted with the <i>Statement of Environmental Effects (SEE)</i> to demonstrate that the development contains non-reflective materials <p>Note: C2.15 (p. C-74) requires building facades to use materials, colours and architectural elements to reduce bulk and scale</p>
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Objectives

D15.B	Setbacks	<ul style="list-style-type: none"> To encourage an active and vibrant streetscape
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Requirements

D15.2	Front Setback	<ul style="list-style-type: none"> Aerospace Support and Commercial Precinct: <ul style="list-style-type: none"> Minimum front setback of 5m <p>Note: C2.9 (p. C-73) requires development be built to the <i>street property boundary</i> for the ground and first floor</p> <ul style="list-style-type: none"> Minimum secondary setback of 2m <p>Note: C1.7 (p. C-66) requires the street layout to provide a grid-like structure</p>
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Objectives

D15.C	Street Layout	<ul style="list-style-type: none"> To ensure streets comply with the indicative layout
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Requirements

D15.3	Street Layout	<ul style="list-style-type: none"> Road Layout is consistent with Figure DZ (p. D-137) A road is constructed to connect with Cabbage Tree Road prior to the release of any subdivision certificate
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D15

WILLIAMTOWN DEFENCE AND AIRPORT RELATED EMPLOYMENT ZONE (DAREZ)

		Note: C2.9(p. C-73) requires <i>development</i> is built to the <i>street property boundary</i> for the ground and first floor
Objectives		
D15.D	Drainage and Water Quality	<ul style="list-style-type: none"> To ensure drainage and stormwater systems are in accordance with the Williamtown Aerospace Park Flood Assessment and Stormwater Strategy
Requirements		
D15.4	Drainage	<ul style="list-style-type: none"> Drainage and stormwater systems are in accordance with the Williamtown Aerospace Park Flood Assessment and Stormwater Strategy²³ <p>Note: B4.2 (p. B-28) requires development that increases <i>non-permeable surfaces</i> to provide a <i>stormwater drainage plan</i></p>
Objectives		
D15.E	Flooding	<ul style="list-style-type: none"> To ensure post-development runoff is equal to or less than pre-development runoff for the broader <i>DAREZ</i>
Requirements		
D15.5	Flooding	<ul style="list-style-type: none"> All car parking and driveways are to be located at a level greater than 2.5m <i>Australian Height Datum (AHD)</i> All development is to have a minimum floor level equal to or greater than the <i>flood planning level</i> <p>Note: B5.1 (p. B-36) requires a <i>Flood Study</i> to demonstrate that development satisfies the flood planning level, which is the AEP design flood level, plus a 0.5m <i>freeboard</i></p>
Objectives		
D15.F	Parking	<ul style="list-style-type: none"> To ensure that appropriate parking is provided
Requirements		
D15.6	Parking	<ul style="list-style-type: none"> Parking is to be located at the rear, side or within buildings of the Commercial Precinct, except for Lots 1001 and 1002, DP 1187948 Parking is located behind a 2m landscaped area for the Aerospace Support and Commercial Precincts <p>Note: B9.6(p. B-56) requires <i>on-site parking</i> to be located behind the <i>building line or setback</i></p>
Objectives		
D15.G	Airport Operational Requirements	<ul style="list-style-type: none"> To ensure that the operational needs of the Williamtown RAAF Base are provided consideration in the development of adjoining <i>DAREZ</i> lands
Requirements		
D15.7	General Requirements	Note: B7 (p. B-42) provides general requirements relating to the <i>aircraft noise planning area</i> , <i>bird strike zone</i> and the <i>Williamtown RAAF Base obstacle limitations or operations surface map</i>
D15.8	Radio Emitting	<ul style="list-style-type: none"> Electromagnetic radiation or radio emitting devices are not to interfere with airspace operations

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D15

WILLIAMTOWN DEFENCE AND AIRPORT RELATED EMPLOYMENT ZONE (DAREZ)

	Devices	Note: B7 – Williamtown RAAF Base – Aircraft Noise & Safety requires consideration to RAAF Operations
D15.9	Navigational Markers	<ul style="list-style-type: none"> Development provides consideration to navigational markers by not interfering with their intended purpose Note: B7 – Williamtown RAAF Base – Aircraft Noise & Safety requires consideration to RAAF Operations
D15.10	Lighting	<ul style="list-style-type: none"> External lighting considers aircraft/control tower Note: B7 – Williamtown RAAF Base – Aircraft Noise & Safety requires consideration to RAAF Operations

WILLIAMTOWN DEFENCE AND AIRPORT RELATED EMPLOYMENT ZONE (DAREZ)

**Port Stephens:
Development Control Plan 2014**

Site Identification Map

**Williamstown Defence and Airport Related Zone.
(DAREZ)**

Cadastre
Cadastre 14/05/2015 (Land and Property
Information (LPI))

D15

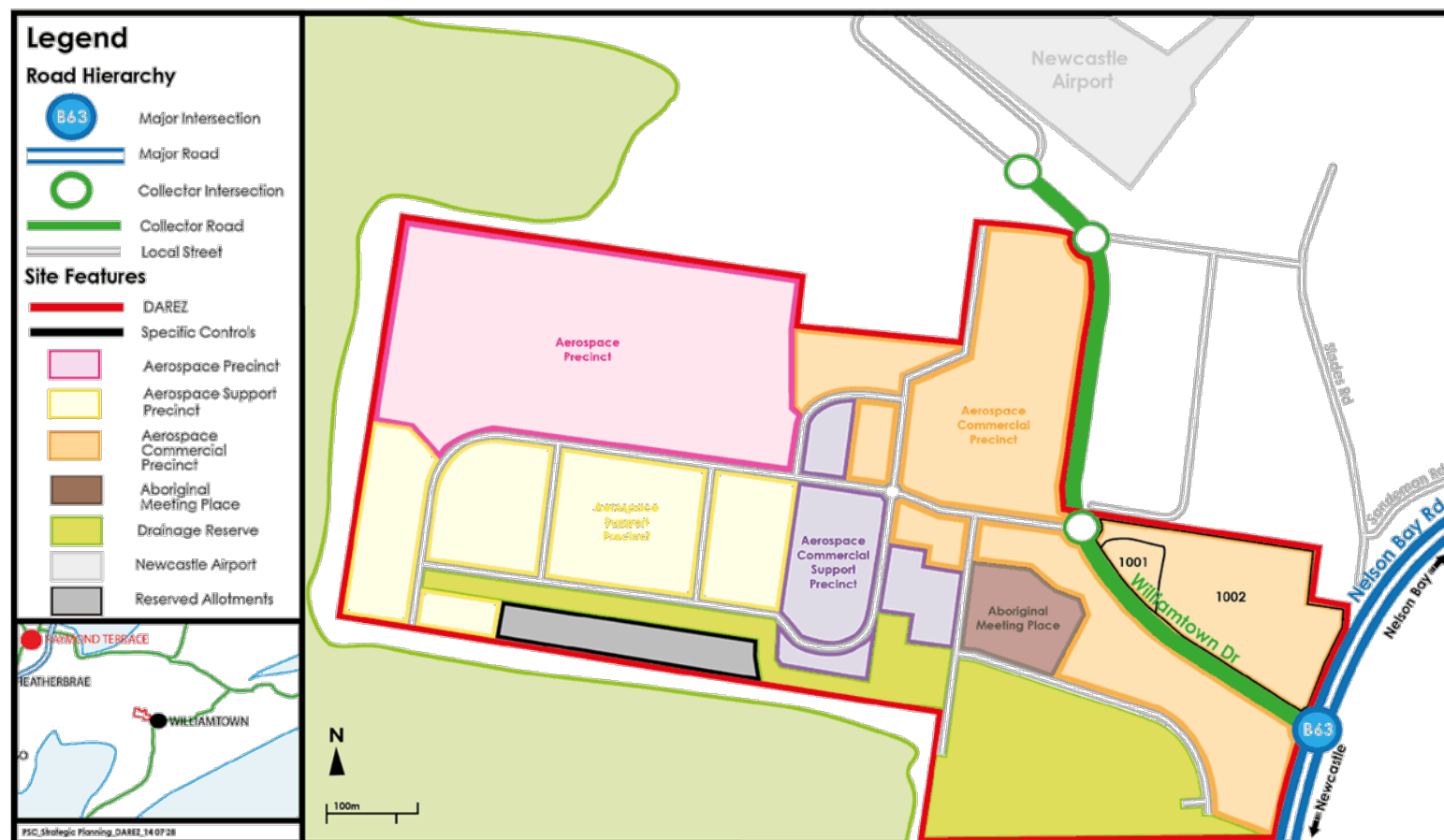
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SCALE 1:10000 @ A4 **PRINTED ON: 26/05/15**

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D15**WILLIAMTOWN DEFENCE AND AIRPORT RELATED EMPLOYMENT ZONE (DAREZ)****Figure DF:** Williamtown DAREZ Locality Controls Map

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E**SCHEDULES****E Schedules**

Schedules			
E1	Glossary	▪ Defines terms used in this Plan	E- 173
E2	Acronyms	▪ Expands acronyms used in this Plan	E- 196
E3	Reference List - Endnotes	▪ Provides a Reference List for those documents referenced through this Plan	E- 198

E1**GLOSSARY****E1 Glossary**

1% Annual Exceedance Probability (AEP) means the 1% flood, since its Annual Exceedance Probability is 1%, or as having a return period of 100 years. This term is also commonly referred to as the 100-year flood

1st, 2nd & 3rd order water courses means a watercourse order as classified under the Strahler System of ordering watercourses. They can be determined by the width of the Core Riparian Zone (**CRZ**) as follows:

Water course description	CRZ width
Any first order watercourse where there is a defined channel where water flows intermittently	10m
Any permanently flowing first order watercourse or any second order watercourse where there is a defined channel where water flows intermittently or permanently	20m
Any third order or greater watercourse and where there is a defined channel where water flows intermittently or permanently. Includes estuaries, wetland and any parts of rivers influenced by tidal waters	20-40m

7-Part Test of Significance means an 7-Part Test of Significant under the Environmental Planning and Assessment Act 1979

aboriginal heritage impact permit means the statutory instrument that the NSW Office of Environment and Heritage issues under Section 90 of the National Parks and Wildlife Act 1974 to manage harm or potential harm to Aboriginal objects and places

arborist report means a technical report prepared by a **qualified arborist** that adequately assesses the health of a tree or other vegetation

access audit means an audit to establish how well a building performs in relation to access and ease of use by a wide range of potential users, including people with physical mobility and sensory impairments

access boundary means the boundary from which formal access to the site is achieved

acid sulfate soils means naturally occurring sediments and soils containing iron sulphides (principally pyrite) and their precursors or oxidation products, **whose** exposure to oxygen leads to the generation of sulphuric acid (for example, by drainage or excavation) **Note:** Acid sulphate soils means the same under the PSLEP 2013

Acid sulfate soil management plan means a management plan prepared in accordance with the *NSW ASS Manual*

acoustic report means a report carried out to detail the noise or vibration intrusion related to aircraft, railway, restaurants, childcare centres and industrial buildings

E1**GLOSSARY**

active street frontage means a activated street frontage provided in accordance with C2.12 (p. C-62) of this Plan

active street frontages map means the Port Stephens Local Environmental Plan 2013 Active Street Frontages Map

adversely impact means a negative effect that goes against desired conditions

air pollution means the emission into the air of any air impurity. *Note:* air pollution means the same under the Protection of Environment Operations Act 1997

air quality report means a report that identifies and measures the potential for air quality impacts

aircraft noise planning area means the area identified on the Aircraft Noise Planning Area Map provided as Figure BH (p. B-46) of this Plan

ancillary structure means for the purpose of this instrument a swimming pool, secondary dwelling, fence or shipping container.

Annual Exceedance Probability (AEP) means the chance of a flood of a given or larger size occurring in any one year, usually expressed as a percentage. For example, if a peak flood discharge of 500 m³/s has an AEP of 5%, it means that there is a 5% chance (that is one-in-20 chance) of a 500 m³/s or larger event occurring in any one year (see ARI).

Arterial means a local street as defined by Port Stephens Council. 2007, 'Infrastructure Specification – Design'

Asset Protection Zone (APZ) means a buffer zone between a bush fire hazard and buildings, which is managed progressively to minimise fuel loads and reduce potential radiant heat levels, flame, ember and smoke attack
asset protection zone means the same under the Planning for Bushfire Protection

Australian Height Datum (AHD) means the setting of the mean sea level as zero elevation. Mean sea level was determined from observations recorded by 30 tide gauges around the Australian continent for the period 1966-1968

Australian rainfall and runoff means the national guideline document for the estimation of design flood characteristics in Australia

average building line for the purposes of determining the front setback, means the average distance of the setbacks to the nearest 2 dwelling houses having a boundary with the same parallel road and located within 40m of the lot on which the dwelling house is erected

Average Recurrence Interval (ARI) means the long-term average number of years between the occurrence of a flood as big as (or larger than) the selected event. For example, floods with a discharge as greater as (or greater than) the 20yr ARI design flood will occur on average once every 20 years. ARI is another way of expressing the likelihood of occurrence of a flood event

BASIX Certificate means a certificate under State Environmental Planning Policy (Building and Sustainability Index) 2004. It is a planning requirement for anyone submitting a development application for a new dwelling, addition, villa, townhouse, units, plus a swimming pool

E1**GLOSSARY**

battleaxe block means a block of land behind another, with access from the street through a narrow drive

bird strike zone means land identified as bird strike Group A, Group B or Group C by Figure BD (p. B-39)

biodiversity offsets are measures that benefit biodiversity by compensating for the adverse impacts elsewhere of an action, such as clearing for development

bio-metric terrestrial biodiversity assessment tool means a tool used to assess the impacts on terrestrial biodiversity of applications for clearing and applications for incentives in native vegetation under the NSW Native Vegetation Act 2003

Building Code of Australia (BCA) means volumes one and two of the National Construction Code.

buffer means a distinct separation between two developments or land-uses that require separation

building height (or height of building) means the vertical distance between ground level (existing) and the highest point of the building, the street name and number of a building, and a logo or other symbol but does not include general advertising of products, goods or services. **Note:** building height means the same under the PSLEP2013

building line or setback means the horizontal distance between the property boundary and other stated boundary and a building wall or the outside face of a balcony, deck or the like, or the supporting posts or a carport or veranda roof, whichever is the shortest. **Note:** building line or setback means the same under the PSLEP2013

bulky goods premises means a building or place the principal purpose of which is the sale, hire or display of bulky goods, being goods that are of such size or weight as to require:

- a. A large area for handling, display or storage, and
 - b. Direct vehicular access to the site of the building or place by members of the public for the purpose of loading or unloading such goods into or from their vehicles after purchase or hire,
- and including goods such as floor and window supplies, furniture, household electrical goods, equestrian supplies and swimming pools, but does not include a building or place used for the sale of foodstuffs or clothing unless their sale is ancillary to the sale or hire or display of bulky goods.

Note: bulky goods premises means the same under the PSLEP2013

bush fire prone land map for an area means a map for the area certified as referred to in section 146(2) of the Environmental Planning & Assessment Act 1979

bush fire prone land means land recorded for the time being as bushfire prone land on **bush fire prone land map**

bushfire protection measure means the following measures as identified by the Rural Fire Service:

- a. Asset Protection Zones (fuel reduced areas)

E1**GLOSSARY**

- b. Access arrangements
- c. Building construction and design
- d. Water supply and utilities
- e. Landscaping
- f. Emergency Management Arrangements

Business premises mean a building or place at or on which:

- a. an occupation, profession or trade (other than an industry) is carried on for the provision of services directly to members of the public on a regular basis, or
- b. a service is provided directly to members of the public on a regular basis, and includes a funeral home and, without limitation, premises such as banks, post offices, hairdressers, dry cleaners, travel agencies, internet access facilities, betting agencies and the like, but does not include an entertainment facility, home business, home occupation, home occupation (sex services), medical centre, restricted premises, sex services premises or veterinary hospital.

Note: Business premises has the same meaning under the PSLEP 2013

cantilevered means a projecting structure, such as a beam, that is supported at one end and carries a load at the other end along its length

cellular system means systems that can be used to control and manage rainwater surface runoff as either a soak away or a storage tank. The modular/honeycomb nature of cellular systems means that they can usually be tailored to suit the specific requirements of any site

centrality means central to the geographic population or in proximity to a neighbourhood centre. An example would be where a collector road crosses another collector road or opposite the neighbourhood town centre.

circumference breast height means the girth of the supporting stem of a tree at a height 1m above the existing ground level measured at the trunk centre, and so as to contain the outermost projection of any flanges or buttresses

Crime Prevention through Environmental Design (CPTED) means a multi-disciplinary approach to deterring criminal behaviour through environmental design

coastal zone means the interface between the land and the water

collector street means a street that fits that description provided under the Port Stephens Council, 2007, 'Infrastructure Specification Design'

commercial premises mean any of the following:

- a. Business premises
- b. Office premises
- c. Retail premises.

Note: commercial premises has the same meaning under the PSLEP 2013

E1**GLOSSARY**

compensatory planting means the planting of a tree to mitigate for the removal of a tree. Compensatory planting must be conducted in accordance with the Port Stephens Council Technical Tree Specification

construction certificate means a **certificate** referred to in section 109C (1) (b) of the Environmental Planning and Assessment Act 1979

construction management plan means a management plan that details how construction will be managed. The plan takes into account relevant safety concerns, including how the works will interfere with the public domain

construction works is the process of building a structure or assembling infrastructure

contaminated land means land in, on or under which any substance at a concentration above the concentration at which the substance is normally present in, on or under (respectively) land in the same locality, being a presence that presents a risk of harm to human health or any other aspect of the environment.

Note: contaminated land means the same under Part 7A of the EP & A Act

controlled activity means:

- a. the erection of a building or the carrying out of a work (within the meaning of the Environmental Planning and Assessment Act 1979), or
- b. the removal of material (whether or not extractive material) or vegetation from land, whether by way of excavation or otherwise, or
- c. the deposition of material (whether or not extractive material) on land, whether by way of landfill operations or otherwise, or
- d. the carrying out of any other activity that affects the quantity or flow of water in a water source.

Note: controlled activity means the same under the Water Management Act 2000

cut means the removal of soil or rock, whether moved to another part of the same site or to another site, but does not include garden landscaping that does not significantly alter the shape, natural form or drainage of land

cut and fill plan means a plan prepared that details the process of cut and fill, including proposed cutting and filling and any proposed loads or the type and source of landfill being used

Db (a) means A-weighted decibels is an expression of the relative loudness of sounds in air as perceived by the human ear.

desire lines means a path that represents the shortest and most easiest navigated route between an origin and destination

development application means an application lodged with Council to seek consent for development that requires development consent under the PSLEP 2013

development consent means a development type that is listed as permitted with consent under the PSLEP 2013

development means:

- a. The use of land

E1**GLOSSARY**

- b. The subdivision of land
- c. The erection of a building
- d. The carrying out of a work
- e. The demolition of a building or work
- f. Any other act, matter or thing referred to in section 26 that is controlled by an environmental planning instrument

But does not include development of a class or description prescribed by the regulations for the purposes of this definition development means the same under Environmental Planning and Assessment Act 1979

development type means the definition given to a proposed land-use under the Dictionary of the Port Stephens Local Environmental Plan 2013

drainage reserve means a parcel of land set aside for drainage purposes. Drainage reserves usually contain either a drainage basin or an open drain. A drainage reserve is a type of **overland flow path**

drinking water catchment means the Drinking Water Catchment identified on the Port Stephens Local Environmental Plan 2013 Drinking Water Catchment Map

driveway means a type of private road for local access to one or a small group of structures, and is owned and maintained by an individual or group

driveway cross-fall means the point where a driveway crosses a pedestrian pathway, which is then understood to be the boundary of the pedestrian environment

dual occupancy means a dual occupancy (attached) or dual occupancy (detached). Dual occupancies are type of residential accommodation. **Note:** Dual occupancy means the same under the PSLEP 2013

dual-use path means a dual-use path as defined under the Port Stephens. 2007, 'Infrastructure Specification – Design'

dwelling house means a building containing only one dwelling. **Note:** Dwelling house has the same meaning under the PSLEP 2013

dwelling means a room or suite of rooms occupied or used or so constructed or adapted as to be capable of being occupied or used as a separate domicile. **Note:** dwelling has the same meaning under the PSLEP 2013

earthworks means the **cut** or **filling** of land. **Note:** earthworks has the same meaning under the PSLEP 2013

easement means an individual or a company, known as a grantee has the right to use land for a particular purpose. An easement can restrict how the owner of the land, known as the grantor, can use their property. Common easements include:

- Pathways and walkways
- For the supply of utilities
- Access roads
- The right to park a vehicle

E1**GLOSSARY**

Ecologically sustainable development means using, conserving and enhancing the community's resources so that ecological processes, on which life depends, are maintained, and the total quality of life, now and in the future, can be increased

environmental significance means threatened species and communities, listed migratory species, wildlife corridors, wetlands or riparian corridors

Environmental Planning Instrument (EPI) means an environmental planning instrument (including a SEPP or LEP but not including a DCP) made, or taken to have been made under Part 3 and in force. **Note:** environmental planning instrument has the same meaning under EP&A Act

environmentally sensitive area means an area deemed to have significant environmental value by Council, including such areas as terrestrial biodiversity, riparian corridors or wildlife corridors

essential services means reference to Clause 7.6 of the Port Stephens Local Environmental Plan 2013, including: the supply of water, the supply of electricity, the disposal and management of **sewage** and suitable vehicular access

excavated natural material means **material** that has shown some disturbance or contamination from past or previous land uses

exotic species means the following:

- Tree of Heaven – *Alionthus altissima*
- Camphor Laurel – *Cinnoamomum camphora*
- Cotoneaster – *Cotoneaster spp.*
- Coral Tree – *Erythrina spp.*
- Rubber Tree – *Fiscus elastica*
- Privet – *Ligustrum spp.*
- Oleander – *Nerium oleander*
- Slash pine – *Pinus elliotii*
- Radiata pine – *Pinus radiata*
- Willow – *Salix babylonica*, *Salix matsudana tortuosa* and *Salix spp*
- Umbrella Trees – *Schefflera spp*
- Cocos Palm – *Syagrus romanzoffianum*
- Rhus Tree – *Toxicodendron succedameum*

exempt development means development that is specified in an exempt development code that meets the standards specified for that development and that complies with the requirements of exempt development under State Environmental Planning Policy (Exempt and Complying Development Codes) 2008

facadism refers to an architectural and construction practice where the façade of a building was designed or constructed separately to the rest of a building. More often it refers to the practice where only the face of a building is preserved with new buildings erected behind or around it

false windows means windows that do not link a **habitable room** and therefore do not provide passive surveillance

E1**GLOSSARY**

fill means the depositing of soil, rock or other similar extractive material obtained from the same or another site, but does not include:

- a. The depositing of topsoil or feature rock imported to the site that is intended for use in garden landscaping, turf or garden bed establishment or top dressing of lawns and that does not significantly alter the shape, natural form or drainage of the land, or
- b. The use of land as a waste disposal facility.

Note: Fill means the same under the PSLEP 2013

Flood compatible materials means

Building Component	Flood Compatible Material	Building Component	Flood Compatible Material
Flooring and Sub-floor Structure	<ul style="list-style-type: none"> ▪ Concrete slab-on-ground monolith construction ▪ Suspension reinforced concrete slab 	Doors	<ul style="list-style-type: none"> ▪ Solid panel with water proof adhesives ▪ Flush door marine ply filled with closed cell foam ▪ Painted metal construction ▪ Aluminium or galvanised steel frame
Floor Covering	<ul style="list-style-type: none"> ▪ Clay tiles ▪ Concrete, precast or in-situ ▪ Concrete tiles ▪ Epoxy, formed-in-place ▪ Mastic flooring, formed-in-place ▪ Rubber sheets or tiles with chemical-set adhesives ▪ Silicone floors, formed-in-place ▪ Vinyl sheets or tiles with chemical-set adhesives ▪ Ceramic tiles, fixed with water resistant adhesive ▪ Asphalt tiles, fixed with water resistant adhesive 	Wall and Ceiling Linings	<ul style="list-style-type: none"> ▪ Fibre-cement board ▪ Brick, face or glazed ▪ Clay tile glazed in waterproof mortar ▪ Concrete ▪ Concrete block ▪ Steel with waterproof applications ▪ Stone, natural solid or veneer, waterproof grout ▪ Glass blocks ▪ Glass ▪ Plastic sheeting or wall with waterproof adhesive
Wall Structure	<ul style="list-style-type: none"> ▪ Solid brickwork ▪ Brickwork 	Insulation	<ul style="list-style-type: none"> ▪ Foam (closed cell types)

E1**GLOSSARY**

	<ul style="list-style-type: none"> Reinforced concrete Mass concrete 		
Roofing Structure (for situations where the relevant flood level is above the ceiling)	<ul style="list-style-type: none"> Reinforced concrete construction Galvanised metal 	Windows	Aluminium frame with stainless steel rollers or similar corrosion and water resistant material
		Nails, Bolts, Hinges and Fittings	<ul style="list-style-type: none"> Brass, nylon or stainless steel Removable pin hinges Hot dipped galvanised steel wire nails or similar

flood fringe areas means areas that are undated by flood, but which do not experience a strong current

flood emergency response plan means a plan that includes preparedness measures, conduct during flood events (e.g. evacuation) and coordination with the Port Stephens Local Emergency Management Committee and the Port Stephens State Emergency Service

flood hazard means a source of potential harm or a situation with a potential to cause loss.

flood planning area means the Flood Planning Area identified on the Port Stephens Local Environmental Plan 2013 Flood Planning Map

flood planning level means the level of a 1:100 Average Recurrent Interval plus 0.5 metres freeboard

flood planning horizon means the year 2100

floodplain means an area of flat land adjacent to a river, creek, lake, estuary, dam or artificial channel which is subject to flooding during high rainfall periods

floodplain development manual means the manual relating to the development of flood liable land for the purposes of s733 of the Local Government Act 1993

flood refuge means an approved and well-designed mound to provide temporary refuge for humans and livestock during flooding

flood risk management report means a report that outlines how the proposed development will alter the floodplain and the extent and change in the flood hazard for the area, the potential impacts of the proposed works on other floodplain users and the future or ongoing risk a community may be exposed to as a result of new development on the floodplain.

Note:

- o A Flood Risk Management Report must be prepared by a suitably qualified consultant. This must analyse measures that would reduce

E1**GLOSSARY**

the danger to a low hazard and not have a detrimental impact on other property owners or public property.

- o *Flood Risk Management Reports must provide controls where necessary to prevent the discharge of pollution during floods. This is in compliance with the "Environment & Health Protection Guidelines - on-site sewage management for single households" dated February 1998 and published by the state government.*

flood risk management plan means a study and subsequent plan to understand flood risk, assess how it can be managed and implement projects to reduce the threat to the community

floodway means the part of a **floodplain** specifically designed to carry flood flows and ideally capable of containing the flood event

flood study means a comprehensive technical investigation of flood behaviour that defines the variation over time of flood levels, extent and velocity for flood events of various severities up to and including the PMF event. It covers the entire floodplain catchment, with particular emphasis on the area under consideration.

Note:

- o *A Flood Study must be prepared by a suitably qualified consultant. This must analyse measures that would reduce the danger to a low hazard and not have a detrimental impact on other property owners or public property.*
- o *Flood Studies must provide controls where necessary to prevent the discharge of pollution during floods. This is in compliance with the "Environment & Health Protection Guidelines - on-site sewage management for single households" dated February 1998 and published by the state government.*

flood storage areas means floodplain areas that are important for the temporary storage of floodwaters during a flood

floor space ratio of buildings on a site is the ratio of the **gross floor area** of all buildings within the site to the **site area**

flora, fauna or conservation strategy means a flora, fauna or conservation strategy that is relevant to the subject site and in turn has identified by Council as relevant (e.g. Port Stephens Council Koala Plan of Management)

Flora and Fauna Survey means a survey to identify ecological and biological diversity of the site

foreshore means the part between the water and occupied or cultivated land

freeboard means the height above the flood planning level used to compensate for the effects such as wave action and localised hydraulic behaviour. **Note:** freeboard has the same meaning under the Building Code of Australia

front property line means the legal boundary of a parcel of land adjoining the street

greenfield means a site in a locality which has been previously undeveloped other than for agricultural pursuits

E1**GLOSSARY**

gross floor area means the sum of floor area of each floor of a building measured from the internal face of external walls, or from the internal face of walls separating the building from any other building, measured at a height of 1.4 metres above the floor and includes:

- a. the area of a mezzanine, and
 - b. habitable rooms in a basement or an attic, and
 - c. any shop, auditorium, cinema, and the like, in a basement or attic,
- but excludes:
- d. any area for common vertical circulation, such as lifts and stairs, and
 - e. any basement:
 - i. storage, and
 - ii. vehicular access, loading areas, garbage and services, and
 - f. plant rooms, lift towers and other areas used exclusively for mechanical services or ducting, and
 - g. car parking to meet any requirements of the consent authority (including access to that car parking), and
 - h. any space used for the loading or unloading of goods (including access to it), and
 - i. terraces and balconies with outer walls less than 1.4 metres high, and
 - j. voids above a floor at the level of a storey or storey above

Note: gross floor area means the same under the PSLEP 2013

ground level (finished) means, for any point on a site, the ground surface after completion of any earthworks (excluding any excavation for a basement, footings or the like) for which consent has been granted or that is exempt development

groundwater is the water located beneath the earth's surface in soil pore spaces and in the fractures of rock formations. A unit of rock or an unconsolidated deposit is called an aquifer when it can yield a usable quantity of water

habitable room means a room --other than a bathroom, laundry, water closet or the like --which is designed, constructed or adapted for the activities normally associated with domestic living, such as a lounge room or living room

heritage conservation area means an area of land of heritage significance:

- a. Shown on the Heritage Map as a heritage conservation area
 - b. The location and nature of which is described in Schedule 5
- And includes any heritage items situated on or within that area

Note: Heritage conservation area means the same under the Port Stephens Local Environmental Plan 2013

heritage impact statement means a statement that conveys what impact or impacts the proposed development will have on the item of heritage significance. The statement addresses:

- a. What impact the proposed works will have on that significance
- b. What measures are proposed to mitigate negative impacts
- c. Why more sympathetic solutions are not viable
- d. Why the item is of heritage significance

E1**GLOSSARY**

heritage item means a building, work, place, relic, tree, object or archaeological site the location and nature of which is described in Schedule 5 of the PSLEP 2013. **Note:** Heritage item means the same under the Port Stephens Local Environmental Plan 2013

hollow tree assessment means an assessment undertaken to uncover the quality and quantity of tree hollows present on a site

home business means a business that is carried on in a dwelling, in a building ancillary to a dwelling, by one or more permanent residents of the dwelling and that does not involve those activities listed under the definition contained in the PSLEP 2013. **Note:** Home business has the same meaning under the PSLEP 2013

home industry means a dwelling (or a building ancillary to a dwelling) used by one or more permanent residents of the dwelling to carry out an industrial activity that does not involve those activities listed under the definition contained in the PSLEP 2013. **Note:** Home industry has the same meaning under the PSLEP 2013

indigenous vegetation means a species of vegetation, or if it comprises species of vegetation, that existed in the State before European settlement. **Note:** indigenous vegetation means the same under the Threatened Species Conservation Act 1995

industry means any of the following:

- a. General industry
- b. Heavy industry
- c. Light industry
- But does not include
- d. Rural industry
- e. Extractive industry
- f. mining

Note: Industry has the same meaning under the PSLEP 2013

infill means the development of land by the erection of or addition of a residential building or buildings which does not require the spatial extension of services including public roads, electricity, water or sewerage and is within an existing allotment

integrated development means development (not being State significant development or complying development) that, in order for it to be carried out, requires development consent and the listing approvals under s91 of the Environmental Planning & Assessment Act 1979

koala habitat means land identified as koala habitat in section 146(2) of the Environmental Planning & Assessment Act 1979

land application map means the map identified under Clause 1.7 Maps of the Port Stephens Local Environmental Plan 2013

land-use types means the definitions of development as listed under the Dictionary of the Port Stephens Local Environmental Plan 2013

landscape plan means a plan or document outlining the extent, type and location of hard and soft landscape works proposed for a development

E1**GLOSSARY**

local street means a local street as defined by Port Stephens Council. 2007, 'Infrastructure Specification – Design'

local structure plan means a development control plan under PSLEP 2013 Clause 6.3

major subdivision means where new roads are proposed, existing roads or intersections require significant upgrading or **public drainage** is constructed

merit-based approach is the means of achieving an objective based on the desired outcome, rather than specific numerical standards

mezzanine means an intermediate floor between main floors of a building

minimum site area means the minimum area at site must be in terms of square metres to allow the placement of a **dual occupancy**

minor subdivision include strata subdivisions, boundary adjustments and Torrens & Community Title subdivision where only inter allotment drainage lines and driveways are required

Model for Urban Stormwater Improvement Conceptualisation (MUSIC) means a toolkit that aids decision-making; MUSIC predicts the performance of stormwater quality management systems

mosquito management technical specification means the Port Stephens Council Mosquito Management Technical Specification available from the Port Stephens Council website

mixed use development means a building or place comprising 2 or more different land uses

multi dwelling housing means 3 or more dwellings (whether attached or detached) on one lot of land, each with access at ground level, but does not include a residential flat building. **Note:** Multi-dwelling housing has the same meaning under the PSLEP 2013

multi-functional means sport fields that are designed with multiple uses in mind, including the provision of an all weather surface, field markings that can be easily changed and removable goal posts.

natural ground level means the most likely surface of the property at the time the lots were created and the roads built

native vegetation means any of the following types of **indigenous vegetation**:

Native vegetation means the same under the Threatened Species and Conservation Act 1995

nest box technical specification means the Port Stephens Council Nest Box Technical Specification available from the Port Stephens Council website

new lot under B4.3 (p. B-26) means a new lot created through **subdivision** since the commencement of this Plan as specified under A.3 (p. A-7)

nodes mean focal points, intersections or loci as Kevin Lynch in The Image of the City. Examples include train stations, **neighbourhood centres**, bus depots or intersections.

E1**GLOSSARY**

noise sensitive development means development defined as 'Conditionally acceptable' or 'Unacceptable' in accordance with the Australian Standard 2021-2015

non-habitable rooms means a room not defined as a *habitable room* under this Plan

non-permeable surfaces means a surface that cannot be penetrated by an element, such as concrete by water

non-urban areas means the following land-use zones under the Port Stephens Local Environmental Plan 2013:

- RU1 Primary Production
- RU2 Rural Landscape
- RU3 Forestry
- R5 Large Lot Residential
- RE1 Public Recreation
- RE2 Private Recreation
- E2 Environmental Conservation
- E3 Environmental Management
- W1 Natural Waterways
- W2 Recreational Waterways

notification plans means notification plans required for the public notification of a *development application* in accordance with the

noxious weeds technical specification means the Port Stephens Council Noxious Weeds Technical Specification that is available from the Port Stephens Council website

noxious weeds is a plant declared by an order under section 7 of the Noxious Weeds Act 1993 to be a noxious weed. **Note:** Noxious weed means the same under the Noxious Weeds Act 1993

NSW ASS Manual means the Acid Sulfate Soils Manual that is available from the NSW Department of Planning and Environment.

NSW ASS Assessment Guidelines means NSW Acid Sulfate Soils Management Advisory Committee. August 1998, 'Acid Sulfate Soils Assessment Guidelines'

occupation certificate means a certificate referred to in section 109C (1) (c) of the Environmental Planning & Assessment Act 1979

offensive noise means noise:

- a. that, by reason of its level, nature, character or quality, or the time at which it is made, or any other circumstances:
 - i. is harmful to (or is likely to be harmful) to a person who is outside the premises from which it is emitted, or
 - ii. interferes unreasonable with (or is likely to interfere unreasonably with) the comfort or repose of a person who is outside the premise from which it is emitted,
- b. that is of a level, nature, character or quality prescribed by the regulations or that is made at a time, or in other circumstances, prescribed by the regulations

E1**GLOSSARY**

Note: Offensive noise has the same meaning under the PSLEP 2013

on-site detention means a way of ensuring that land-use changes does not cause increased downstream flooding: both in the local drainage system immediately downstream and along the creeks and rivers further downstream. On-site detention usually consists of a discharge control pit, storage and collection network

on-site infiltration means a system by which water on the ground surface enters the soil. Infiltration rate in soil science is a measure of the rate at which soil is able to absorb rainfall or irrigation. It is measured in inches per hour or millimetres per hour. The rate decreases as the soil becomes saturated

on-site sewerage management system means wastewater systems designed to treat and dispose of effluent on the same property that produces the wastewater. A septic tank and drain field combination is the oldest and most common type

on-site parking means parking required under Figure BH: On-Site Parking Requirements (p. B-46).

On-site refuge means a convenient access to flood free ground. In general, it is not acceptable to rely on refuge provided by or on other development sites. In all cases where on site refuge is provided, it is to be both intrinsically accessible to all people on the site and an integrated part of the development (e.g. a second storey with stair access). The route to the refuge is to be fail safe, plainly evident and self-directing.

open space means either *private open space* or *public open space*

operational land means a classification of public land under the Local Government Act 1993

operation and maintenance plan means developed to maintain Water Sensitive Urban Design Strategy in line with the Port Stephens Council. NA, 'Guidelines for Preparing a Water Sensitive Urban Design Strategy'

overland flow means water that flows down to a water course as opposed to flooding that is water that rises from a water source

overland flow path means low-lying natural drainage paths, open space floodway channels, road reserves, pavement expanses or any other flow paths that can convey flows after heavy rainfall

planning agreement means an agreement made between the proponent and Council under s94 of the Environmental Planning and Assessment Act 1979 regarding infrastructure provision

podium means a platform used to raise something above its immediate surroundings

Precinct Plan means a plan prepared to address the matters set out in Part 6 (Urban release areas) of PSLEP 2013.

preferred koala habitat means all habitat areas identified by the Koala Habitat Atlas as Primary Habitat, Secondary Habitat and Community Based Survey Categories under the Port Stephens Council Koala Plan of Management

primary use means the principle reason for which the vehicle is utilised

E1**GLOSSARY**

privacy screen means a screen that:

- a. Faces the boundary
- b. Is 1.5m high, measured from the floor level
- c. Has no individual opening more than 30mm wide
- d. Has a total of all openings less than 30 percent of the surface area of the screen

private open space means an area of land external to a building that is used for private outdoor purposes ancillary to the use of the building

Probable Maximum Flood (PMF) means the largest flood that could conceivably occur within a catchment

property vegetation plan means a voluntary, legally binding agreement between a landholder and the local catchment authority that may be obtained for the following reasons:

- a. Protecting water quality by trapping sediment, nutrients and other contaminants
- b. Providing an interface or buffer between developments and waterways
- c. Providing bed and bank stability and reducing bank and channel erosion
- d. Providing connectivity between wildlife habitats
- e. Providing diversity of habitat for terrestrial, riparian and aquatic plants and animals
- f. Providing passive recreational uses

public domain means land to be considered public property and would generally be understood to be streetscapes or open space

public drainage means the drainage system that is under public ownership and is maintained by a public authority

public infrastructure means infrastructure, such as sewerage, electrical, water or similar that is under the ownership of a public authority, such as Council.

public means a person who accesses a building or premises who are not owners or staff

public open space is social space that is generally open and accessible to people. Examples include roads, public domain, parks and beaches.

qualified arborist means

- a. A person who holds the Australian Qualifications Framework Diploma in Horticulture (Arboiculture) or other qualifications to the satisfaction of Council, and
- b. Who has been registered with the Council as a qualified person for the purposes of the preparation of an arborist report, or
- c. The Council

E1**GLOSSARY**

qualified engineer means a practicing professional with accreditations received from a University recognised by Engineers Australia or equivalent international accreditation

reduced level (RL) means the height above the Australian Height Datum, being the datum surface approximating mean seal level that was adopted by the National Mapping Council of Australia in May 1971

register of significant trees means the Port Stephens Council Register of Significant Trees. This Register is available from the Port Stephens Council Website

residential accommodation means a building or place used predominately as a place of residence as defined under the PSLEP 2013. **Note:** residential accommodation has the same meaning under the PSLEP 2013

residential flat building means a building containing 3 or more dwellings, but does not include an attached dwelling or multi-dwelling house. **Note:** Residential flat building has the same meaning under the PSLEP 2013

responsible authority means Council or a state government agency or agent of

retail premises means a building or place used for the purpose of selling items by retail, or hiring or displaying items for the purpose of selling them or hiring them out, whether the items are goods or materials (or whether also sold by wholesale) and includes those listed under the PSLEP 2013. **Note:** retail premises has the same meaning under the PSLEP 2013

restricted premises means premises that, due to their nature, restrict access to patrons or customers over 18 years of age, and includes sex shops and similar premises, but does not include a pub, hotel or motel accommodation, home occupation (sex services) or sex services premises. **Note:** Restricted premises has the same meaning under the PSLEP 2013

riparian corridor means a transition zone between the land, also known as the terrestrial environment, and the river or watercourse or aquatic environment. Riparian corridors perform a range of important environmental functions.

road reserve means a legally described area within which facilities such as roads, footpaths, and associated features may be constructed for public travel

s149 Certificate means a Certificate provided by Council in accordance with s149 of the Environmental Planning & Assessment Act 1979

secondary dwelling means a self-contained dwelling that:

- a. Is established in conjunction with another dwelling (the principal dwelling), and
- b. Is on the same lot of land as the principal dwelling, and
- c. Is located within, or is attached to, or is separate from, the principle dwelling

Note: Secondary dwelling has the same meaning under the PSLEP 2013

secondary setback relates to a dwelling situated on a corner lot, faces to two streets and therefore requires two setbacks. The secondary setback is provided to the non-primary street, being the street which carries less traffic load.

E1**GLOSSARY**

section 88B means section 88B of the Conveyancing Act 1919

sensitive receivers mean those locations or persons that are vulnerable to a decline in air quality, such as asthmatics, children or the elderly

Servicing strategy means a strategy that identifies major works in relation to **essential services**.

sewerage reticulation system means the system of pipes, sewers and drains that are used to convey sewage from a property to a sewage treatment plant.

SEPP 44 trees means those trees of significance listed under the Port Stephens Comprehensive Koala Plan of Management as follows:

- Grey Gum
- Scribbly Gum
- Brown Stringybark
- White Mahogany
- Red Mahogany
- Tallowwood
- Sydney Blue Gum
- Sydney Peppermint
- Blackbutt
- Spotted Gum
- Grey Ironbark
- Narrow-leaved Red Ironbark
- Broad – leaved White Mahogany
- Flooded Gum
- Small – leaved Peppermint
- Red Bloodwood
- Smooth Barked Apple
- Broad – leaved Paperbark
- Swamp she-oak
- Swamp Mahogany
- Paramatta Red Gum
- Forest Red Gum

sex services premises mean a brothel, but do not include home occupation (sex services). **Note:** Sex services premises has the same meaning under the PSLEP 2013

shadow diagram means a diagram that allows a calculation and illustration of projected shadow

short-term tourist and visitor accommodation means a tourist and visitor accommodation where the maximum period for which any person is accommodated is 60 consecutive days in a 12 month period and that does not involve interference with the amenity of the neighbourhood by reason of the emission of noise or traffic generation. **Note:** short-term tourist and visitor accommodation has the same meaning under Clause 7.18 of the PSLEP 2013

side boundary means the property boundaries connected to the **front property line**

signage means any sign, notice, device, representation or advertisement that advertises or promotes goods, services or events and any structure or vessel that is

E1**GLOSSARY**

principally designed for that is used for, the display of signage, and includes any of the following:

- a. An advertising structure
 - b. A building identification sign
 - c. A business identification sign
- But does not include a traffic sign or traffic control facilities

Note: signage has the same meaning under the PSLEP 2013

significant effect means there is likely to be a significant effect as determined under s5A of the Environmental Planning & Assessment Act 1979 or development is on land which is, or is part of, critical habitat

significant social impact means a **development type** that is considered to have a social impact, such as:

- Where the proposed development indicates that its impacts will alter the ways in which people, live, work, play, relate to one another, organise to meet their needs, sense of place or community and generally cope as members of society in terms of their values and beliefs or aesthetic values
- Where demographic profiling, in which the impacts are likely to occur, indicate that the proposed development is likely to impact on the well-being of individuals or their social groupings
- Where prescribed supply ratios identify an unacceptable level of services, such as the number of schools, hospital beds or housing to meet the needs of the demographic
- Locations that contain cultural heritage values, or where the impacts are likely to occur on places of cultural heritage values and attachments to those places
- Where community and stakeholder groups indicate interest in fairness and community involvement in decision making processes

site analysis means the preparatory step developing a **site analysis plan**. The results of this analysis are illustrated by a **site analysis plan** submitted as part of the **Statement of Environmental Effects**

site analysis plan means a plan informed by a **site analysis** and provided as part of a Development Application

site area means the area contained within the boundaries of the site

social impact assessment includes the processes of analysing, monitoring and managing the intended and unintended social consequences, both positive and negative, of planned interventions – policies, programs, plans and projects- and any social changes processes invoked by those interventions

solar access refers to the amount of the sun's energy available to a building

species impact statement means a statement referred to in Division 2 of Part 6 and includes an environmental impact statement, prepared under the Environmental Planning and Assessment Act 1969 that contains a species impact statement

E1**GLOSSARY**

splay corners means the corners of a road intersection

staged development application has the same meaning as in the *Environmental Planning and Assessment Act 1979*.

Statement of Environmental Effects (SEE) means a document that demonstrates that the environmental impact of a development.

structural engineering assessment means an assessment undertaken of the building by a *qualified engineer*

storage area means an area where flood waters are temporarily stored during flood events, such as on-site detention basins

stormwater drainage plan means a drainage mean that clearly illustrates stormwater infrastructure

stormwater quality improvement devices (SQUIDS) mean engineering methods that are used to protect the creeks, rivers and beaches that our stormwater drains into. They trap or collect rubbish and pollution that ends up in our stormwater drains. Examples include litter collection cages, trash racks or constructed wetlands

surface water means water on the surface of the planet, such as in a stream, river, lake, *wetland* or ocean

subdivision means an area or lot of land being subdivided into smaller lots. Subdivision under this Plan is either *minor subdivision* or *major subdivision* as defined under C1.2 (p. C-54) of this Plan

subdivision certificate means a certificate provided at the end of the subdivision process that signifies that all the conditions of consent have been met

surface water means water on the surface of the planet, such as in a stream, river, lake, wetland, or ocean

super lot means an area of land created by subdivision and intended to be further subdivided into additional lots.

supplementary koala habitat means koala habitat that is supplementary to *preferred koala habitat* as defined under the Port Stephens Comprehensive Koala Plan of Management

swimming pool means an excavation, structure or vessel:

- a. That is capable of being filled with water to a depth greater than 300 millimetres
 - b. That is solely or principally used, or that is designed, manufactured or adapted to be solely or principally used, for the purpose of swimming, wading, paddling or any other human aquatic activity
- And includes a spa pool, but does not include a spa bath, anything that is situated within a bathroom or anything declared by the regulations not to be a swimming pool for the purposes of this Act

traffic generating development means development defined as traffic generating development under Schedule 3 of State Environmental Planning Policy 2007

E1**GLOSSARY**

traffic impact assessment means an assessment to quantify the traffic impacts and associated parking requirements that result from proposed development

tree removal notification means the Port Stephens Council Tree Removal Form. The Form is available from the Port Stephens Council Website

tree technical specification means the Port Stephens Council Tree Technical Specification. The Specification is available from the Port Stephens Council Website

urban areas for the purposes of B1 – Tree Management means the following land-use zones under the Port Stephens Local Environmental Plan 2013 and identified by Figure BA (p. B-17):

- R1 General Residential
- R2 Low Density Residential
- R3 Medium Density Residential
- B1 Neighbourhood Centre
- B2 Local Centre
- B3 Commercial Core
- B4 Mixed Use
- B5 Business Development
- B7 Business Park
- IN1 General Industrial
- IN2 Light Industrial
- IN4 Working Waterfront
- RU5 Village
- SP2 Infrastructure

urban release area means an area of land identified on the Urban Release Area Map (Definition already exists in LEP)

useable land means total lot area excluding dams, intermittent and permanent watercourses and open stormwater drains and pits in addition to the relevant buffer distances prescribed in the Port Stephens Council Development Assessment Framework for those objects

useable open space means a space that is open to the sky and which is for the enhancement of the development and the enjoyment of the occupants. It excludes drying areas, garbage collection and handling spaces and any space used for the movement or parking of vehicles

vegetated riparian zone means the vegetated riparian zone that adjoins the channel comprising the bed and banks of the watercourse of a *riparian corridor*

vegetation analysis plan means a map based report intended to assist the property owner or occupier in managing their planned or existing development site in order to ensure that existing bushland elements on their land are protected from excessive human induced disturbance

vegetation management plan means a Vegetation Management Plan as described under the Port Stephens Council Vegetation Technical Specification

vegetation management technical specification means the Port Stephens Council Vegetation Management Technical Specification that is available from the Port Stephens Council website

E1**GLOSSARY**

vegetation technical specification means the Port Stephens Council Vegetation Technical Specification. The Specification is available from the Port Stephens Council Website

virgin excavated natural material means natural material, such as clay, gravel, sand, soil or rock fines, that:

- a. That has been excavated or quarried from areas that are not contaminated with manufactured chemicals, or with process residues, as a result of industrial, commercial, mining, or agricultural activities, and
- b. That does not contain any sulfidic ores or soils or any other waste

virgin excavated natural material means the same under the Protection of the Environment Operations Act 1997

vistas means a view corridor to a distant view

water balance means an equation that can be used to describe the flow of water in and out of a system

waterfront land means:

- a. The bed of any river, together with any land lying between the bed of the river and a line drawn parallel to, and the prescribed distance inland of, the highest bank of the river, or
- b. The bed of any lake, together with any land lying between the bed of the lake and a line drawn parallel to, and the prescribed distance inland of, the shore of the lake, or
- c. The bed of any estuary, together with any land lying between the bed of the estuary and a line drawn parallel to, and the prescribed distance inland of, the mean high water mark of the estuary, or
- d. If the regulations so provide, the bed of the coastal waters of the State, and any land lying between the shoreline of the coastal waters and a line drawn parallel to, and the prescribed distance inland of, the mean high water mark of the coastal waters,

where the prescribed distance is 40 metres or (if the regulations prescribe a lesser distance, either generally or in relation to a particular location or class of locations) that lesser distance. Land that falls into 2 or more of the categories referred to in paragraphs (a), (a1) and (a2) may be waterfront land by virtue of any of the paragraphs relevant to that land.

Note: Waterfront land means the same under the Water Management Act 2000

waste includes:

- a. any substance (whether solid, liquid or gaseous) that is discharged, emitted or deposited in the environment in such volume, consistency or manner as to cause an alteration in the environment
- b. any discarded, rejected, unwanted, surplus or abandoned substance
- c. Any otherwise discarded, rejected, unwanted, surplus or abandoned substance intended for sale or for recycling, processing, recovery or purification by a separate operation from that which produced the substance, or
- d. Any substance prescribed by the regulations to be waste

E1**GLOSSARY**

A substance is not precluded from being waste for the purpose of this Act merely because it is or may be processed, recycled, re-used or recovered

Note: waste means the same under the Protection of the Environment Operations Act 1997

waste management plan means a plan that details the amount, type and disposal of waste during demolition, construction and through the ongoing management of the facility

waste storage and recycling area means a designated area or a combination of designated areas upon the site of a building for the housing of approved containers to store all waste material (including recyclable material) likely to be generated by the buildings occupants

Water Sensitive Urban Design (WSUD) means a range of measures that are designed to avoid, or at least minimise, the environmental impacts of urbanisation in terms of the demand for water and the potential pollution threat to natural water bodies

water sensitive urban design strategy means a Strategy developed to implement identified Water Sensitive Urban Design measures

wetland means a location identified as 'wetland' on the Wetlands Map under the Port Stephens Local Environmental Plan 2013

E2**ACRONYMS****E2 Acronyms**

<i>AEF</i>	Annual Exceedance Probability
<i>AHD</i>	Australian Height Datum
<i>AHIMS</i>	Aboriginal Heritage Information Management System
<i>AHIP</i>	Aboriginal Heritage Impact Permit
<i>ANEF</i>	Australian Noise Exposure Forecast
<i>APZ</i>	Asset Protection Zone
<i>ARI</i>	Average Recurrence Interval
<i>ASS</i>	Acid Sulphate Soils
<i>BASIX</i>	Building and Sustainability Index
<i>BCA</i>	Building Code of Australia
<i>CPED</i>	Crime Prevention through Environmental Design
<i>CRZ</i>	Core Riparian Zone
<i>DAF</i>	Development Assessment Framework
<i>DAREZ</i>	Defence or Airport Related Employment Zone
<i>Db(A)</i>	A-weight decibels
<i>DCP</i>	Development Control Plan
<i>ENM</i>	Excavated Natural Material
<i>EP&A Act</i>	Environmental Planning & Assessment Act 1979
<i>EPI</i>	Environmental Planning Instrument
<i>FPL</i>	Flood Planning Level
<i>LEP</i>	Local Environmental Plan
<i>MUSIC</i>	Model for Urban Stormwater Improvement Conceptualisation
<i>NorBE</i>	Neutral or Beneficial Effect on Water Quality
<i>OSMS</i>	On-site Sewage Management System
<i>PMF</i>	Probable Maximum Flood
<i>PSC</i>	Port Stephens Council

E2**ACRONYMS**

<i>PSDCP 2014</i>	Port Stephens Development Control Plan 2014 (this Plan)
<i>PSLEP 2013</i>	Port Stephens Local Environmental Plan 2013 (Parent Plan)
<i>RAF</i>	Royal Australian Airforce
<i>RL</i>	Reduced Level
<i>SEE</i>	Statement of Environmental Effects
<i>SEPP</i>	State Environmental Planning Policy
<i>SIS</i>	Species Impact Statement
<i>SLR</i>	Sea Level Rise
<i>SQUIDS</i>	Stormwater Quality Improvement Devices
<i>TIA</i>	Traffic Impact Assessment
<i>TSC Act</i>	Threatened Species & Conservation Act 1995
<i>VENM</i>	Virgin Excavated Natural Material
<i>VMP</i>	Vegetation Management Plan
<i>VPA</i>	Voluntary Planning Agreement
<i>WSUD</i>	Water Sensitive Urban Design

E3

REFERENCE LIST - ENDNOTES

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- 4 PSC.2012, 'Landscape Technical Specification'
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- 41 Department of Environment and Heritage Protection. 2012, 'Koala-sensitive Design Guideline'