

C Development Types

The Parts listed below apply to all *land-use types* to which this Plan applies.

C Development Types			
No	Part	This Part applies to development that:	Page
C1	Subdivision	<ul style="list-style-type: none"> is defined as <i>subdivision</i> 	C-62
C2	Commercial	<ul style="list-style-type: none"> is defined as <i>commercial premises</i> 	C-67
C3	Industrial	<ul style="list-style-type: none"> is defined as <i>industry</i> and/or <i>development</i> within the Zone B5 Business Development. 	C-73
C4	Dwelling Houses, Secondary Dwelling, Dual Occupancy or Ancillary Structures	<ul style="list-style-type: none"> is defined as a <i>dwelling house</i> is defined as a <i>secondary dwelling</i> is defined as a <i>dual occupancy</i> is defined as an <i>ancillary structure</i>, which includes a <i>swimming pool</i>, shed, fence, retaining wall or shipping container 	C-77
C5	Multi Dwelling Housing or Seniors Housing	<ul style="list-style-type: none"> is defined as <i>multi dwelling housing</i> is defined as <i>seniors housing</i> 	C-84
C6	Home Business or Home Industry	<ul style="list-style-type: none"> is defined as <i>home business</i> or <i>home industry</i> 	C-93
C7	Restricted or Sex Services Premises	<ul style="list-style-type: none"> is defined as <i>restricted premises</i> is defined as <i>sex services premises</i> 	C-94
C8	Signage	<ul style="list-style-type: none"> is defined as <i>signage</i> 	C-96

C1 Subdivision

Application														
This Part applies to development that is defined as subdivision														
Objectives														
C1.A	Block and Street Layout	<ul style="list-style-type: none"> To ensure local streets are well-connected to the street network with obvious pedestrian and cycle links to higher order streets To ensure priority is provided to residents' needs when designing local streets to encourage usability To ensure pathways follow desire lines 												
Requirements														
C1.1	Block Dimensions	A block seeks to achieve the following dimensions:												
		<table border="1"> <thead> <tr> <th>Zone</th> <th>Maximum depth</th> <th>Maximum length</th> </tr> </thead> <tbody> <tr> <td>Residential</td> <td>80m</td> <td>160m</td> </tr> <tr> <td>Commercial</td> <td>50m</td> <td>80m</td> </tr> <tr> <td>Industrial</td> <td>120m</td> <td>200m</td> </tr> </tbody> </table>	Zone	Maximum depth	Maximum length	Residential	80m	160m	Commercial	50m	80m	Industrial	120m	200m
		Zone	Maximum depth	Maximum length										
		Residential	80m	160m										
Commercial	50m	80m												
Industrial	120m	200m												
C1.2	Technical Specifications	Street layout complies with the road network specifications in infrastructure specification – design ¹¹												
C1.3	Street Layout Attributes	<p>The street layout addresses the following:</p> <ul style="list-style-type: none"> All street components are integrated, such as kerbing, pavement type, width, street tree planting, footpaths, on road cycleway, shared paths, lighting and seating are provided as specified in infrastructure specific – design¹¹ Road widths accommodate the necessary movements of service and emergency vehicles Driveways and footpaths are provided at subdivision as a part of the subdivision works Footpaths and shared paths follow desire lines Street layout is interconnected to provide a grid-like structure Street layout is informed by street connections for future subdivisions on adjacent lands Street layout enables each lot to front a street and for corner lots to face both streets Street layout seeks to provide a perimeter road between residential dwellings and; <ul style="list-style-type: none"> bush fire prone land open space defined as a regional park, district park or local park Street layout ensures public access to public open space is maintained and encouraged Street layout responds to the topographical features of the site, such as: 												

		<ul style="list-style-type: none"> - where land slopes at a grade of 6% or more the predominant street alignment is perpendicular to the contours - straight or gently curved to frame vistas <p>Note: Development should have consideration for the Port Stephens Pathways Plan.</p>
C1.4	Cul-de-sacs	<p>Cul-de-sacs are generally only supported where:</p> <ul style="list-style-type: none"> • the existing street layout does not permit a through street • connectivity to an adjoining street is not required • the cul-de-sac has a maximum length of 75m • access is provided to no more than 10 allotments • clear line of sight is provided from the nearest intersection
C1.5	Street Tree Requirements	<p>Street trees are required as a component of the road reserve for the following:</p> <ul style="list-style-type: none"> • residential subdivisions • commercial subdivisions • industrial subdivision creating 10 or more lots <ul style="list-style-type: none"> - Street trees are provided in accordance with the tree technical specification¹ <ul style="list-style-type: none"> ○ Attachment 1 – Tree Planting Guidelines of the tree technical specification¹ provides guidance to the application of Attachment 2 to determine the total number of trees to be provided
Objective		
C1.B	Lot Size and Dimensions	To ensure all new lots have a size and shape appropriate to their proposed use, and to allow for the provisions of necessary services and other requirements
Requirements		
C1.6	Lot Size	Subdivision adheres with Local Environmental Plan Part 4
C1.7	Rectangular Footprint	A residential lot is capable of supporting a rectangular building footprint of 15m x 8m or 10m x 12m as illustrated by Figure CA (p. C-66)
C1.8	Battle-axe Lots	<p>All lots provide direct street frontage</p> <ul style="list-style-type: none"> • Battle-axe lots are only considered when there is no practical way to provide direct street frontage • Right of carriageway is constructed prior to the issuing of a subdivision certificate and is provided in accordance with Figure CB (p. C-66) <ul style="list-style-type: none"> - Alternative solutions are to be considered for lots created prior to the Local Environmental Plan, but only where safety is not impeded
C1.9	Splay Corners	<p>Splay corners are provided for corner lots and must be a minimum of:</p> <ul style="list-style-type: none"> • 4m x 4m for residential zones • 8m x 8m for commercial and industrial zones • 6m x 6m or merit-based approach for other zones

Objective					
C1.C	Solar Access	To maximise solar access for residential dwelling s			
Requirement					
C1.10	Solar Access	Residential subdivision addresses the following guidelines for solar access . Any inconsistency clearly justifies how alternative energy efficiency is achieved <ul style="list-style-type: none"> • Where possible, lots should be oriented to provide one axis within 30 degrees east and 20 west of true solar north • Where a northern orientation of the long axis is not possible, lots should be wider to allow private open space on the northern side of the dwelling • Topography and landform should inform the subdivision layout in order to maximise solar access opportunities 			
Objectives					
C1.D	Public Open Space	<ul style="list-style-type: none"> • To provide a hierarchy of public open space in accordance with public open space hierarchy • To provide parks that are multi-functional • To ensure parks achieve centrality by being located near transport nodes, public buildings, waterfronts, libraries or places of public worship • To ensure public open space meets the demands of the local community to encourage usability and critical mass 			
Requirements					
C1.11	Open Space Hierarchy	Council may require the provision of public open space in accordance with the following:			
			Category	Area	Catchment
		A	regional park	merit-based approach	merit-based approach
		B	district park	1-2ha	500 -800m
		C	local park	0.5ha	150-400m
D	corridor open space	merit-based approach	-		
C1.12	Open Space Reduction	The quantity of public open space may be reduced if: <ul style="list-style-type: none"> • accessibility is improved through such measures as providing extended connections to the wider pedestrian network; • value of open space is improved through such measures as an increased amount and/or quality of park furniture, amenities, play equipment, sports infrastructure; or 			
C1.13	Open Space Attributes	Public open space for the purpose of a local park, district park or regional park must: <ul style="list-style-type: none"> • be of regular shape (rectangle/square) to maximise recreation opportunities; Note: Long narrow open spaces are not acceptable unless used for linkages. <ul style="list-style-type: none"> • be generally flat and centrally located near transport nodes, public buildings, waterfronts, libraries or places of 			

		<p>public worship to maximise accessibility for all members of the public;</p> <ul style="list-style-type: none"> • provide for safe and convenient access by being located on pedestrian and cycle routes; • clearly demonstrate that it is a public space and be bounded by a street and faced by lots zoned or used for residential or commercial purposes; • be designed with consideration to CPTED principles; and • include access for services (e.g. garbage collection, maintenance, water, sewerage and electricity) <p>Note: The provision of playgrounds is assessed on a case by case basis by primarily considering proximity to other community and recreation facilities.</p> <p>Note: Further attributes specific to a local park, district park and regional park are provided in Part E1 of the PSDCP 2014.</p>
C1.14		<p>Land that may be deemed unsuitable as public open space for the purposes of a local park, district park or regional park includes:</p> <ul style="list-style-type: none"> • contaminated land; • land primarily used for stormwater management or drainage control purposes; • land containing sites or items of cultural significance; or • land identified as an Asset Protection Zone (APZ).
C1.15		<p>Corridor open spaces are drainage reserves classified as operational land under the <i>Local Government Act 1993</i></p>
Objective		
C1.E	Infrastructure	To ensure detailed consideration is provided to the provision of integrated and quality public infrastructure
Requirements		
C1.16	Technical Specifications	Infrastructure in accordance with the infrastructure specification – design ¹¹ is identified on the Concept Utility Plans or more detailed Preliminary Engineering Plans
C1.17	Public Infrastructure	<p>Subdivision provides public infrastructure within the adjoining road or public land, including kerb/gutter, stormwater drainage, footpaths, street lighting, street trees and bus shelters, excluding:</p> <ul style="list-style-type: none"> • Public utilities, such as water and electricity, are kept within private lot boundaries and are not located within the road reserve
C1.18	Lifecycle and Maintenance	<p>Lifecycle and maintenance costs are a key determinant when considering alternative methods, products and manufacturers to those specification in the infrastructure specification – design¹¹</p> <ul style="list-style-type: none"> • Council will request life cycle costing and maintenance manual details for infrastructure to assist in ongoing maintenance

Objective		
C1.F	Public Scale Drainage	To ensure further guidance is provided for subdivision that is consistent with B4 Drainage and Water Quality
Requirements		
C1.19	Inter-allotment Drainage	Each lot must be able to be gravity drained through the drainage system to public drainage
C1.20		Inter-allotment drainage may be required for subdivision where a lot does not drain directly to the road kerb
C1.21	Drainage Reserves	An overland flow path is provided for the 1% Annual Exceedance Probability(AEP) storm event and is a drainage reserve dedicated to Council as operational land

Figure CA: Residential Block Dimensions and Rectangular Building Footprint

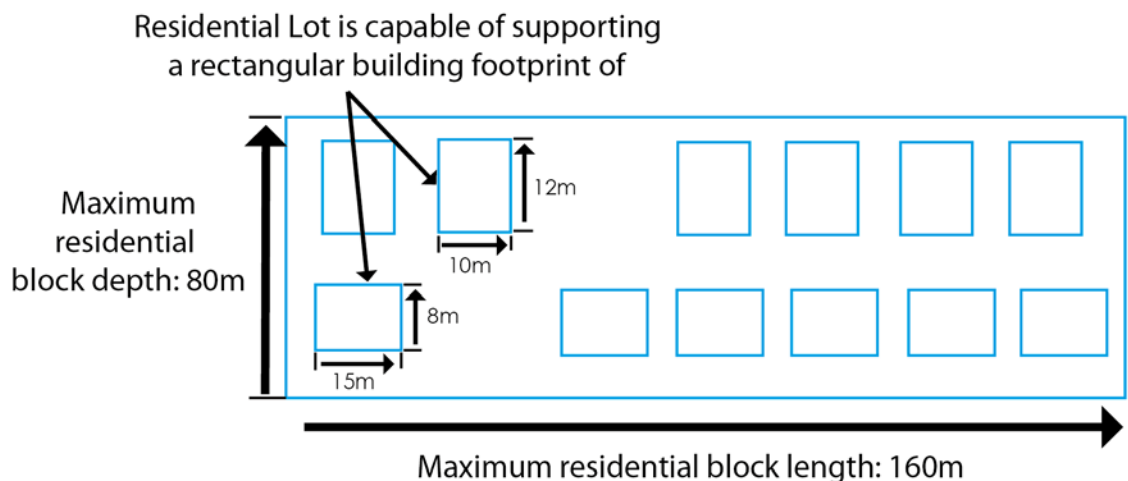


Figure CB: *Battle-axe Lot* Requirements

	Entry Width	Max Length	Misc.	Torrens
<ul style="list-style-type: none"> ▪ Dwelling house ▪ Dual occupancy 	3.6m	30m	Max 2 dwelling s	Max 3
<ul style="list-style-type: none"> ▪ Multi dwelling housing ▪ Residential flat building 	6m	50m	-	-
<ul style="list-style-type: none"> ▪ Business ▪ Industrial 	10m	-	-	Max 3
<ul style="list-style-type: none"> ▪ Rural less than 2 lots 	6.5m	200m	-	Max 3
<ul style="list-style-type: none"> ▪ Rural greater than 3 lots 	10m	200m	-	Max 3

C2 Commercial

Application	
This Part applies to development defined as commercial premises	
<ul style="list-style-type: none"> This Part also provides additional requirements for bulky goods premises 	

Objectives		
C2.A	Height	<ul style="list-style-type: none"> To ensure development is of an appropriate height that minimises privacy loss and over-shadowing To ensure that floor to ceiling height allows for flexible uses over time

Requirements		
C2.1	Building Height	Building height is provided in accordance with the Local Environmental Plan clauses 4.3 and 5.6
C2.2	Floor to Ceiling Height	Minimum ground floor to ceiling height for all new development within a commercial zone is 3.5m
C2.3		Minimum first floor and above floor to ceiling height for commercial premises is 3m
C2.4		Minimum first floor and above floor to ceiling height for residential accommodation is 2.7m
C2.5		Ground level (finished) must be between 100-500mm above adjacent footpath levels

Objective		
C2.B	Site Frontage and Setbacks	To ensure development provides continuity and consistency to the public domain

Requirements		
C2.6	Site Frontage for buildings higher than 10.5m	Minimum 20m site frontage where development is proposed to be more than 10.5m in height
C2.7	Front Setback and Façade Articulation	Development is built to the front property line for the ground and first floor
C2.8		Minimum 3m front setback from the front property line for the second floor and above
C2.9		Minimum 3.5m front setback from the front property line for mixed use development for second floor and above
C2.10		Parts of a building may give variation in setback to provide design articulation
C2.11	Side Setback	Development should be built to the side boundary to maximise continuous activate street frontage , except where side access is provided
C2.12	Rear Setback	Commercial premises adjacent to a lot that is zoned or used for residential purposes or a public reserve is to provide a minimum rear setback of 5m, plus an additional 0.5m for each metre of the height of the building that exceeds 8m

C2.13		Rear setback is built for purpose and informed by a site analysis plan
C2.14	Longitudinal gradient	Where there is a level of change in excess of 500mm at the front property boundary the floor plate and rooflines of development steps with the longitudinal grade of street
Objective		
C2.C	Building Form and Massing	To ensure development reinforces, compliments and enhances the visual character of the street
Requirements		
C2.15	Amenity	Building mass does not result in unreasonable loss of amenity to adjacent properties or the public domain
C2.16	Proportions	Building proportion is complimentary to the form, proportions and massing of existing building patterns
Objectives		
C2.D	Facades	<ul style="list-style-type: none"> To ensure street activation and passive surveillance through active street frontage To facilitate development that is safe and secure for pedestrians and contributes to public domain safety by incorporating principles of Crime Prevention through Environmental Design (CPTED), such as: <ul style="list-style-type: none"> - Territorial Re-enforcement - Surveillance - Access Control - Space/Activity Management To ensure the bulk of large floor plate development is concealed by a sleeve of smaller buildings fronting the street
Requirements		
C2.17	Materials	Building facades use materials, colours and architectural elements to reduce bulk and scale that are complimentary to existing built-form and natural setting
C2.18	Active Street Frontage	<ul style="list-style-type: none"> Development provides continuity of an active street frontage for localities where business premises or retail premises predominately face the street and have direct pedestrian access from the street, which may be identified in Part D- Specific Areas An active street frontage provides the following: <ul style="list-style-type: none"> - Maximum unarticulated wall is 2m in length - Minimum 50% of ground floor front is windows, which does not include false windows <p>Note: C1.3 requires that the street layout enable each lot to front a street or corner lots to face both streets</p>
C2.19		A big box development may achieve an active street frontage by providing a sleeve of smaller buildings that conceal its bulk to the street frontage Note: C2.K provides additional requirements for bulky goods premises

C2.20		Development incorporates Crime Prevention through Environmental Design (CPTED) principles by providing passive surveillance to public spaces through building design and orientation
C2.21	Public Footpath	Development provides paving to the public footpath for the entire length of the development street frontage
Objectives		
C2.E	Awnings	<ul style="list-style-type: none"> To ensure continuous awnings along pathways to provide shelter where most pedestrian activity occurs To ensure awning design is integrated with the building façade to integrate with adjoining buildings
Requirements		
C2.22	Awnings	<p>Awnings must be provided over pedestrian pathways</p> <ul style="list-style-type: none"> New awnings must maintain the same dimensions, alignment and materials of existing awnings along the street A continuous or stepped solid box awning should be provided for the full extent of the building frontage with awnings 3m in width or setback 750mm from the curb, whichever is less Under awning height will be between 3.2m and 3.6m Awnings on sloping sites should be a cantilevered steel box section that steps with street slope Awnings are varied when there is a need to highlight the location of a major building entrance
Objective		
C2.F	Building Entries	To provide clear direction to access points
Requirements		
C2.23	Access Points	<p>Provide a recognisable entry from the primary street</p> <ul style="list-style-type: none"> Entries on corner sites address both streets by providing a splayed entry on that corner A separate and secure access point that provides a clear sense of building address is provided for the residential component of mixed-use development
C2.24	Entry Structures	Entry structures, such as access ramps, are located within the site behind the property boundary so as not to obstruct pedestrian footpaths in the public domain
Objective		
C2.G	Building Facilities and Services	To appropriately locate building facilities and services that do not adversely impact on the public domain
Requirement		
C2.25	Location of Building Facilities and Services	Plant, equipment, storage areas, communication structures and servicing areas are located at the rear of a building and not be visible from streets, parks and other public spaces, except for service lanes

C2.26	Public Toilets	Commercial development with a capital investment value over \$2 million shall provide toilets that are accessible to the public
Objective		
C2.H	Public Art	To ensure that features of the public domain contribute to identity, character, safety, amenity and accessibility
Requirements		
C2.27	Public Art	Commercial development with a capital investment value over \$2 million and that provides frontage to the public domain shall incorporate public art in accordance with Council's <i>Public Art Policy and Guidelines for the approval and installation of public art in Port Stephens</i> Note: Evidence must be provided with a commercial development application value over \$2 million demonstrating that the developer has obtained Public Art Approval from Council.
Objective		
C2.I	Shipping Container Stacks	To ensure development that proposes the use of shipping containers does not impact upon the amenity of the area
Requirements		
C2.28	Scale and Height	The scale and height of shipping container stacks shall have regard to the scale and height of nearby buildings.
C2.29	Siting	Shipping container stacks shall be located at the rear of the site where possible, unless the rear of the site abuts a sensitive use.
C2.30	Formation	Shipping containers stacked adjacent to landscaped areas or along property boundaries shall be stacked in a tier or pyramid formation to reduce their visual bulk.
Objectives		
C2.J	Landscaping	<ul style="list-style-type: none"> To enhance the appearance and amenity of developments through the retention and/or planting of large and medium sized trees. To encourage landscaping between buildings for screening. To ensure landscaped areas are consolidated and maintainable spaces that contribute to the open space structure of the area. To improve the aesthetics of commercial areas, especially major commercial road corridors, through landscape works and co-ordination of architectural and signage elements To reduce hydrocarbon emission by providing shading of untendered vehicles To reduce energy consumption through microclimate regulation To reduce air borne pollution by reducing the heat island effect To intercept stormwater to reduce stormwater runoff

Requirements		
C2.31	Landscaping Coverage	<p>Landscaping is provided as follows:</p> <ul style="list-style-type: none"> 10% of the site area consisting of deep soil planting 30% shading over car park areas <p>Note: The canopy coverage of specimen trees can be used to calculate deep soil landscaping</p>
C2.32	Landscaping Dimensions	To be counted as part of the total landscaping coverage the landscaped area must be at least 1.5m wide and 3m long.
C2.33	Landscaping Qualities	<p>Landscaping is in accordance with the following:</p> <ul style="list-style-type: none"> Landscape works incorporate adequate screening from the street and adjacent neighbours; Corner lots provide landscaping to both street frontages; Tree and landscape planting shall be of a scale and extent that reflects the scale of the proposed development's buildings and pavement areas Structural soil and/or structural cells should be used to reduce competition between specimen trees and infrastructure Street trees are to be within the footpath, verge or in the parking lane and be consistent with the Port Stephens Council tree technical specification¹
C2.34	Rear Setback	<p>The rear setback area is to be:</p> <ul style="list-style-type: none"> a deep soil landscape planting area where the development adjoins a residential zone or land used for residential purposes; or assessed by a merit-based approach where the development does not adjoin a residential zone or land used for residential purposes
C2.35	Species Selection	Landscape species are to be selected in accordance with the Landscape Technical Specification ⁴
Objectives		
C2.K	Bulky Goods Premises	<ul style="list-style-type: none"> Establish requirements for bulky goods premises Ensure the design of bulky goods contributes positively to the streetscape and public domain through quality architecture, materials and finishes
Requirements		
C2.36	Bulky Goods Premises Principles	<p>Bulky goods premises are to be designed to:</p> <ul style="list-style-type: none"> incorporate detail and architectural interest avoid creating ambiguous external spaces with poor pedestrian amenity and security provide a clearly identifiable and dedicated pedestrian access to the building and across the site from the primary street frontage provide pick-up areas next to the entrance to reduce unnecessary movement of heavy objects across the site

Figure CC: Illustration of Commercial Awning Dimensions

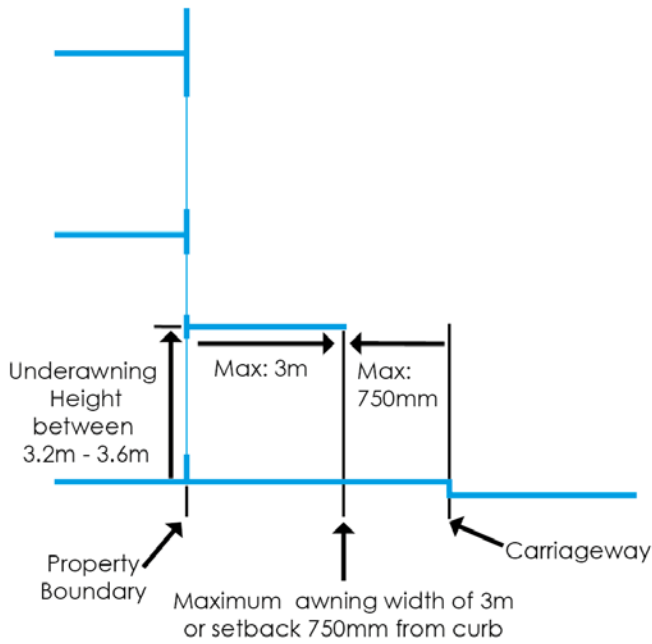
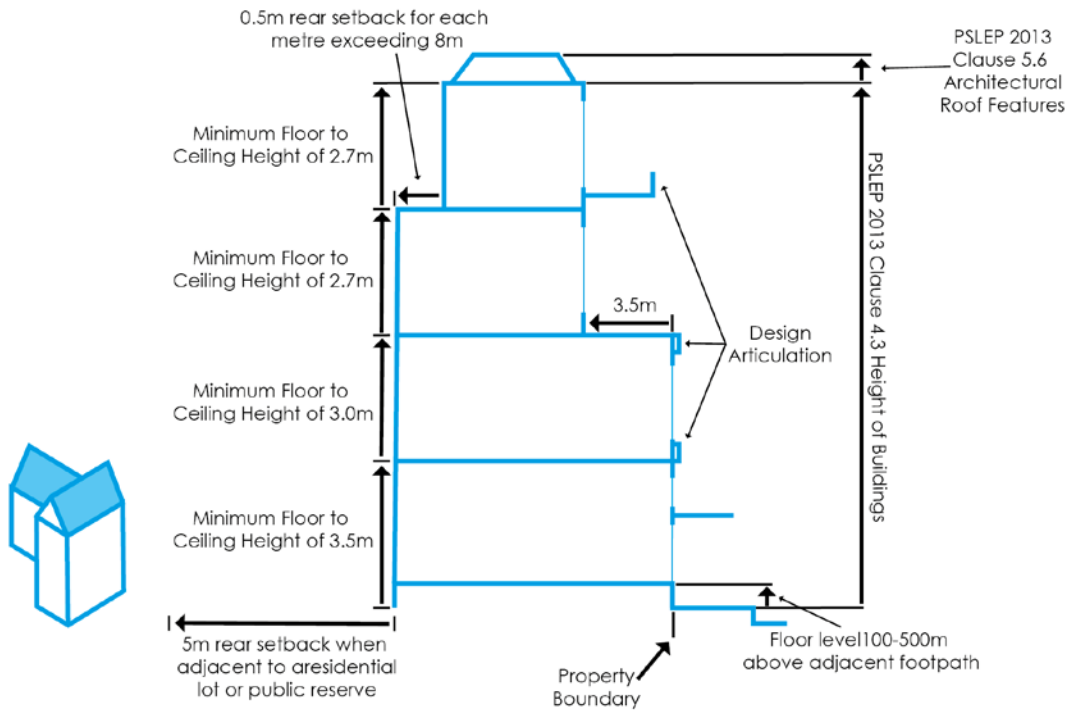


Figure CD: Illustration of Commercial Building Envelope



C3 Industrial

Application		
This Part applies to development defined as industry and/or development within the Zone B5 Business Development.		
Objectives		
C3.A	Height	<ul style="list-style-type: none"> To ensure the height of buildings is appropriate for the context and character of the area To ensure building heights reflect the hierarchy of centres and land use structure
Requirement		
C3.1	Building Height	<p>Development must not exceed a height of 15m</p> <p>Note: The Local Environmental Plan clause 4.3 Height of buildings overrides this requirement, if a height is specified</p>
Objective		
C3.B	Building Siting and Design	To ensure development is situated within an appropriate building envelope
Requirements		
C3.2	Front Setback	Maximum 6m front setback from the front property line or in line with the existing average building line
C3.3		<p>Single storey offices and display rooms within the front setback must:</p> <ul style="list-style-type: none"> not exceed 50% of the front setback area ensure sightlines are maintained for pedestrian and vehicle movement
C3.4	Side Setback	Side boundary setbacks are to be in accordance with the BCA
C3.5	Rear Setback	Merit-based approach to rear setback with a 1.5m buffer zone provided to drainage reserves
Objective		
C3.C	Shipping Container Stacks	To ensure development that proposes the use of shipping containers does not impact upon the amenity of the area
Requirements		
C3.6	Scale and Height	The scale and height of shipping container stacks shall have regard to the scale and height of nearby buildings.
C3.7	Siting	Shipping container stacks shall be located at the rear of the site where possible, unless the rear of the site abuts a sensitive use.
C3.8	Formation	Shipping containers stacked adjacent to landscaped areas or along property boundaries shall be stacked in a tier or pyramid formation to reduce their visual bulk.

Objective		
C3.D	Fencing	To avoid the dominance of fences on the streetscape and similar hostile design, and to soften the built environment in industrial areas
Requirements		
C3.9	Fencing Height	Fencing forward of the building line must not exceed a height of 1.2m.
C3.10	Fencing Materials	Fencing forward of the building line must be constructed of masonry or dark coloured picket in combination with vegetation
C3.11	Security Fencing	Security gates and other fencing may be utilised behind the setback, provided that it does not exceed a height of 2m
Objectives		
C3.E	Facades and Articulation	<ul style="list-style-type: none"> To ensure facades consist of appropriate materials and colours that contribute to streetscape amenity To ensure weather protection is provided at building entrances
Requirements		
C3.12	Colours and Materials	Building colours and materials are sympathetic to the natural environment and existing site context
C3.13	Awnings	Weather protection awnings are provided for building entrances
C3.14	Building Access	The building access point provides a clear sense of building address for residents and their visitors
C3.15	Building Frontage	Offices, showrooms and customer service areas are located towards the front of the development
C3.16		Parking and driveway areas do not occupy more than 60% of the site frontage
C3.17		Buildings face the street and provide clear entry points
C3.18	Blank Walls	Blank walls are minimised by incorporating an opening or change in the wall's articulation. This should include a combination of change in materials, setback variation, architectural details or landscaping
C3.19	Screening	Screening of poorly designed buildings with vegetation is not an acceptable streetscape treatment. A combination of quality building design and landscaping is to be used to provide a positive contribution to the streetscape
Objectives		
C3.F	Landscaping	<ul style="list-style-type: none"> To enhance the appearance and amenity of developments through the retention and/or planting of large and medium sized trees. To encourage landscaping between buildings for screening. To ensure landscaped areas are consolidated and maintainable spaces that contribute to the open space structure of the area. To minimise the visual impact and noise pollution generated by development on nearby residential areas

		<p>and road corridors</p> <ul style="list-style-type: none"> To use land efficiently and minimise disturbance to the local natural environment To integrate existing landscape features and/or architecture into development To reduce energy consumption through microclimate regulation To reduce air borne pollution by reducing the heat island effect To intercept stormwater to reduce stormwater runoff
Requirements		
C3.20	Landscaping Coverage	<p>Landscaping is provided as follows:</p> <ul style="list-style-type: none"> 20% of the site area consisting of deep soil planting 30% shading over car park areas <p>Note: The canopy coverage of specimen trees can be used to calculate deep soil landscaping</p>
C3.21	Landscaping Dimensions	To be counted as part of the total landscaping coverage the landscaped area must be at least 1.5m wide and 3m long.
C3.22	Landscaping Qualities	<p>Landscaping is in accordance with the following:</p> <ul style="list-style-type: none"> Landscape works incorporate adequate screening from the street and adjacent neighbours; Corner lots provide landscaping to both street frontages; Landscape planting must provide adequate shading to the eastern and western elevations of poorly insulated buildings Tree and landscape planting shall be of a scale and extent that reflects the scale of the proposed development's buildings and pavement areas Remnant trees are retained and protected where possible Structural soil and/or structural cells should be used to reduce competition between specimen trees and infrastructure Street trees are to be within the footpath, verge or in the parking lane and be consistent with the Port Stephens Council tree technical specification¹
C3.23	Species Selection	Landscape species are to be selected in accordance with the Landscape Technical Specification ⁴

Figure CE: Landscape design requirements for **industry development**

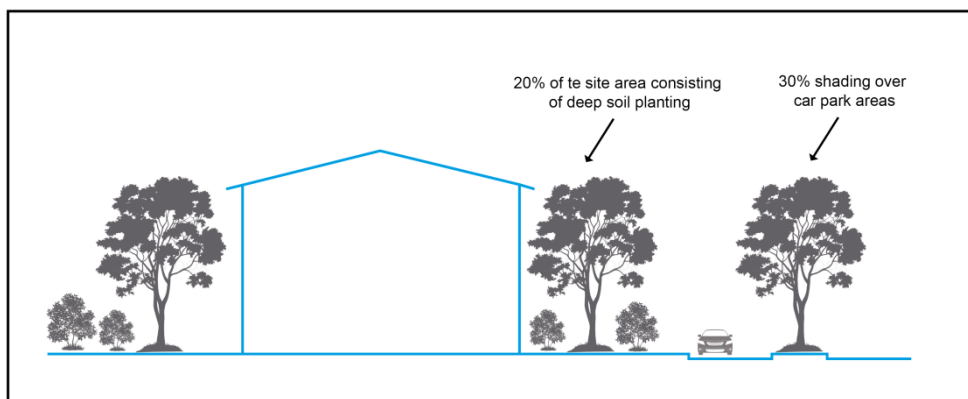
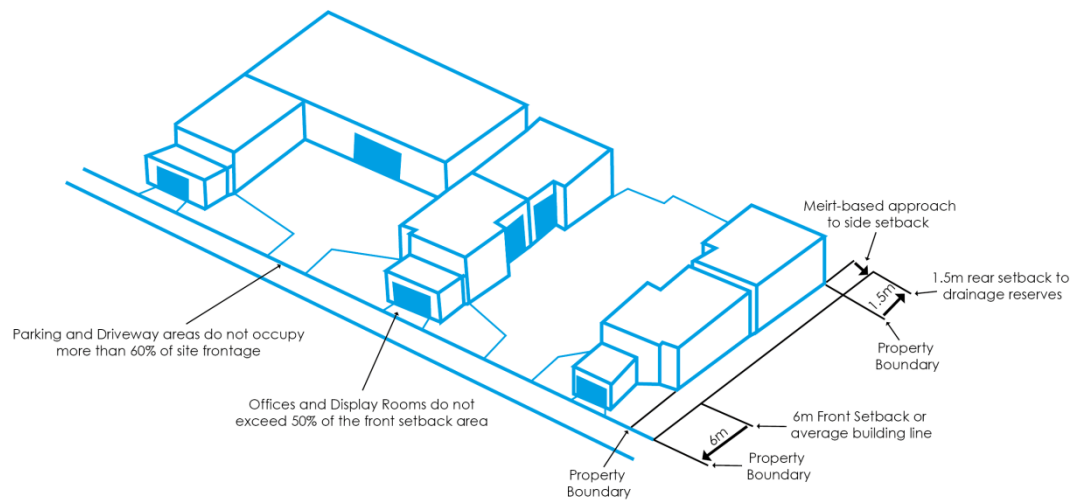


Figure CF: Illustration of Industrial Building Principles



C4 Dwelling House, Secondary Dwelling, Dual Occupancy or Ancillary Structures

Application		
This Part applies to development that is defined as a dwelling house, secondary dwelling, dual occupancy or ancillary structure , which includes a swimming pool , shed, fencing, retaining wall or shipping container		
Objectives		
C4.A	Height	<ul style="list-style-type: none"> To ensure the height of buildings is appropriate for the context and character of the area To ensure building height reflects the hierarchy of centres and land use structure
Requirements		
C4.1	Building Height	<p>Maximum height limit of 8m or a merit-based approach is taken where no height limit is specified under Local Environmental Plan clause 4.3</p> <p>Note: C2.4 requires a minimum first floor and above ceiling height for residential accommodation in a commercial zone of 2.7m</p>
Objective		
C4.B	Setbacks	<ul style="list-style-type: none"> To ensure development provides continuity and consistency to the public domain To ensure development contributes to the streetscape and does not detract from the amenity of the area
Requirements		
C4.2	Front Setback	Minimum 4.5m front setback from the front property line for a greenfield site within a residential or RU5 Rural Village zone
C4.3		Minimum 4.5m front setback or the average building line from the front property line for an infill site, whichever is less, within a residential or RU5 Rural Village zone
C4.4		Minimum 10m front setback from the front property line for rural (other than RU5 Village), environmental or R5 Large Lot Residential zones
C4.5		Maximum 1.5m encroachment of front setback for architectural features, such as an entry porch or deck
C4.6		Development for a secondary dwelling must be located behind the building line of the principal dwelling it is in conjunction with
C4.7		Secondary Setback (Corner Lots)
C4.8	Minimum 10m secondary setback for rural (other than RU5 Village) or environmental zones	
C4.9	Maximum 1m encroachment to secondary setback for architectural features, such as an entry porch or deck	

C4

DWELLING HOUSE, SECONDARY DWELLING, DUAL OCCUPANCY OR ANCILLARY STRUCTURES

C4.10	Side Setback – ground level (finished)	Minimum 0.9m side boundary setback for the ground level (finished)
C4.11	Side Setback – ground level (finished)	Minimum 5m side boundary setback for the ground level (finished) in rural (other than RU5 Village) or environmental zones
C4.12	Side Setback – upper storey	Minimum 2m side boundary setback for an upper storey
C4.13		Minimum 5m side boundary setback for an upper storey in rural (other than RU5 Village) or environmental zones
C4.14	Rear Setback – ground level (finished)	Minimum 2m rear setback for the ground level (finished)
C4.15		Minimum 5m rear setback for the ground level (finished) in rural (other than RU5 Village) or environmental zones
C4.16	Rear Setback – upper storey	Minimum 6m rear setback for an upper storey
C4.17		Minimum 5m rear setback for an upper storey in rural (other than RU5 Village) or environmental zones
C4.18	Garage Setback	Minimum 1m behind the building line or setback
C4.19	Public Reserve and Waterfront Setback	Minimum 3m setback from a public reserve boundary
C4.20		Minimum 4.5m setback from a waterfront reserve boundary
C4.21		Minimum 1m setback from waterfront land from the access boundary
C4.22	Battle-axe Lot Handle	Minimum 1m setback from a battle-axe lot handle, access corridor or easement that is required for access Note: C1.13 details when battle-axe lots are provided
C4.23	Adjoining Agricultural Buffers	An agricultural buffer of 150m or greater should be provided between a rural dwelling house , secondary dwelling or an ancillary structure for habitable purposes to adjoining land in separate ownership that is used or capable of being used for agricultural purposes <ul style="list-style-type: none"> Where the 150m buffer or greater cannot be achieved the planting of a 30m wide native vegetation strip is to be provided between the proposed development building envelope and the adjacent agricultural land Note: B2.1 requires a suitable buffer on the land which is the subject of development to items of environmental significance
Objective		
C4.C	Streetscape and Privacy	To ensure development activates the streetscape to provide passive surveillance and privacy.
Requirements		
C4.24	Passive Surveillance	Development is to address the street by having at least one habitable room front the street and/or adjoining public spaces
C4.25		Development on corner lots is to address both street frontages by having habitable rooms face both streets
C4.26	Streetscape Character	To be sympathetic to the existing landscape character and built-form with regard to design, bulk, scale, form, materials and roof configuration

C4

DWELLING HOUSE, SECONDARY DWELLING, DUAL OCCUPANCY OR ANCILLARY STRUCTURES

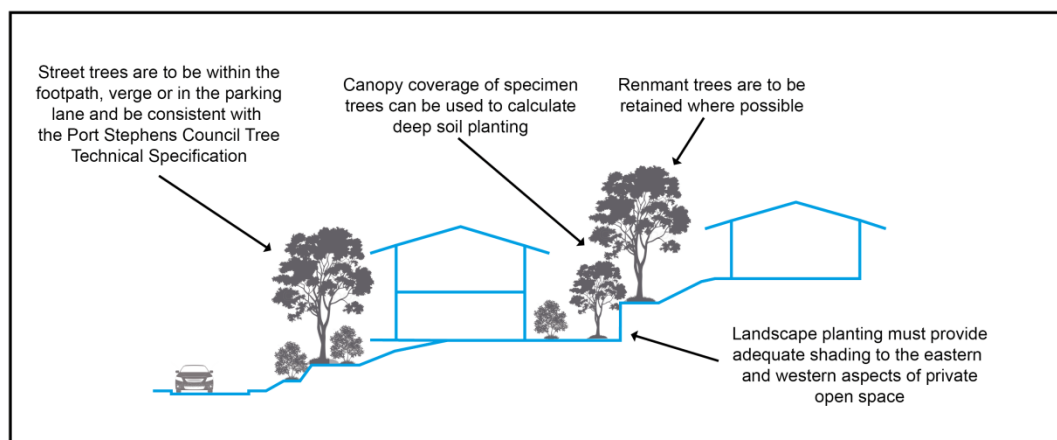
C4.27	Privacy and Two-Storey Development	Two storey development is to include a balcony or deck facing the street on the upper floor at least 1.5m deep across 25% of the dwelling frontage
C4.28		Balconies are to be located to minimise overlooking of adjoining properties
C4.29		Privacy screens are required for balconies and patios, which result in unreasonable privacy impacts to properties
C4.30		Privacy screens , high-light windows or opaque glass is to be used for windows of habitable rooms (other than bedrooms) which overlook adjoining properties
Objective		
C4.D	Private Open Space	To ensure private open space with solar access is provided to allow opportunity for passive and active outdoor recreation
Requirements		
C4.31	Private Open Space Dimensions	Minimum of 50m ² of ground floor private open space comprising a minimum of 35m ² that is usable. Private open space is considered usable if it: <ul style="list-style-type: none"> • has minimum dimensions of 4m x 4m; • has direct access from internal living areas; • is not located within a front setback; and • has a northerly aspect.
C4.32		Where development cannot provide private open space on the ground floor, provisions shall be made for a balcony of not less than 20m ² with a minimum width of 3m for the use as private open space
C4.33	Solar Access	Minimum of 2 hours sunlight to the principal private open space area between the hours of 9am-3pm midwinter
C4.34		Minimum of 30% of private open space of adjoining dwelling s must remain unaffected by any shadow for a minimum of 3 hours between 9am-3pm midwinter
Objective		
C4.E	Car Parking and Garages	To ensure car parking caters for anticipated vehicle movements to and from the development and does not adversely impact on building articulation
Requirements		
C4.35	Driveway Width	A driveway should have a minimum width of 3.6m Note: B9.9 requires ingress/egress widths to provide the listed dimensions
C4.36	Garage Dimensions	Maximum garage door width of 6m for residential lots or 50% of the building frontage, whichever is less
C4.37		Maximum garage width of 9m for lots exceeding 1,500m ²
Objectives		
C4.F	Landscaping	<ul style="list-style-type: none"> • To enhance the appearance and amenity of developments through the retention and/or planting of large and medium sized trees. • To encourage landscaping between buildings for

		<p>screening.</p> <ul style="list-style-type: none"> To ensure landscaped areas are consolidated and maintainable spaces that contribute to the open space structure of the area. To add value and quality of life for residents and occupants within a development in terms of privacy, outlook, views and recreational opportunities. To create and enhance vegetation links between natural areas and reduce weed potential to environmentally sensitive areas To reduce energy consumption through microclimate regulation To reduce air borne pollution by reducing the heat island effect To intercept stormwater to reduce stormwater runoff
Requirements		
C4.38	Dwelling House	<p>Development located on land that slopes at more than 18 degrees to the horizontal or that is within 50m of land that contains:</p> <ul style="list-style-type: none"> a SEPP 14 Wetland; or koala habitat; or species or communities listed within the TSC Act <p>must provide landscaping that:</p> <ul style="list-style-type: none"> will enhance the environmental constraints of the site; retains trees within the outer protection area of the APZ identified by a bushfire report; and constrains turf areas within the inner protection area of the APZ identified by a bushfire report.
C4.39	Dual Occupancy Landscaping Coverage	<p>Landscaping is provided as follows:</p> <ul style="list-style-type: none"> 20% of the site area; or 40% of the site area where development is located within 50m of: <ul style="list-style-type: none"> a SEPP 14 Wetland; or koala habitat; or species or communities listed within the TSC Act; or a public reserve; and 30% shading over uncovered car park areas
C4.40	Dual Occupancy Landscaping Dimensions	<p>To be counted as part of the total landscaping coverage the landscaped area must be at least 1.5m wide and 3m long.</p>
C4.41	Dual Occupancy Landscaping Qualities	<p>Landscaping is in accordance with the following:</p> <ul style="list-style-type: none"> Landscape works incorporate adequate screening from the street and adjacent neighbours. Corner lots provide landscaping to both street frontages. Front boundary structures (e.g. fencing and retaining walls) provide visual relief with the use of landscape planting.

		<ul style="list-style-type: none"> Street trees are to be within the footpath, verge or in the parking lane and be consistent with the Port Stephens Council tree technical specification¹ Landscape planting must provide adequate shading to the eastern and western aspects of private open space Structural soil and/or structural cells should be used to reduce competition between specimen trees and infrastructure <p>Note: The canopy coverage of specimen trees can be used to calculate deep soil landscaping</p>
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C4.42	Species Selection	Landscape species are to be selected in accordance with the Landscape Technical Specification ⁴
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Figure CG: Landscape design requirements for dual occupancy development



Objective

C4.G	Site Facilities and Services	To ensure development provides appropriate facilities and services in the most appropriate site location
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Requirements

C4.43	Waste Storage	An adequately screened waste storage and recycling area is to be provided behind the building line
C4.44	Clothes Drying	A suitable open-air area for clothes drying is to be provided for each dwelling behind the building line with a northerly aspect

Objective

C4.H	Ancillary Structures	<ul style="list-style-type: none"> To provide further guidance for ancillary structures to ensure consistent and desired amenity is attained To ensure ancillary structures do not adversely impact upon the amenity of the surrounding area To ensure ancillary structures are consistent in terms of height, bulk and scale with the surrounding area
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Requirements

C4.45	Sheds (Residential)	<p>Development in a residential zone (except R5 Large Lot Residential) adheres to a:</p> <ul style="list-style-type: none"> maximum gross floor area of 72m²; minimum side and rear setback of 0.9m; and minimum 1m behind the building line or setback <p>Note: SEPP (Exempt and Complying Development Codes)</p>
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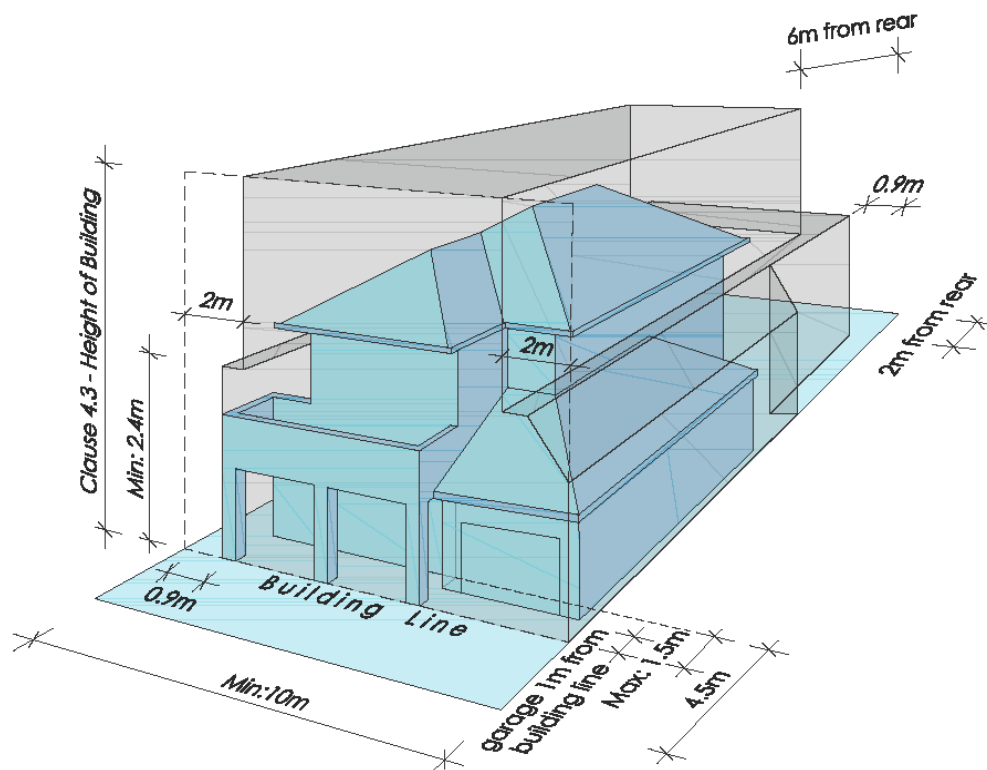
		2008, Subdivision 9 Cabanas, cubby house, ferneries, garden sheds, gazebos and greenhouses generally classifies a shed to a maximum floor area of 20m ² in a residential zone to be exempt development																		
C4.46	Sheds (R5 Large Lot Residential)	Development in the R5 Large Lot Residential zone, adheres to the following:																		
		<table border="1"> <thead> <tr> <th>R5 Large Lot Residential</th> <th>Site < 4,000m²</th> <th>Site ≥ 4,000m²</th> </tr> </thead> <tbody> <tr> <td>Maximum floor area</td> <td>120m²</td> <td>merit-based approach</td> </tr> <tr> <td>Maximum height</td> <td>4.8m</td> <td>merit-based approach</td> </tr> <tr> <td>Minimum front setback</td> <td>Behind the front building line of the dwelling</td> <td>15m</td> </tr> <tr> <td>Minimum side boundary and rear setback</td> <td>5m</td> <td>5m</td> </tr> <tr> <td>Colour scheme</td> <td>Consistent with the existing character of the area.</td> <td>Consistent with the existing character of the area.</td> </tr> </tbody> </table>	R5 Large Lot Residential	Site < 4,000m ²	Site ≥ 4,000m ²	Maximum floor area	120m ²	merit-based approach	Maximum height	4.8m	merit-based approach	Minimum front setback	Behind the front building line of the dwelling	15m	Minimum side boundary and rear setback	5m	5m	Colour scheme	Consistent with the existing character of the area.	Consistent with the existing character of the area.
		R5 Large Lot Residential	Site < 4,000m ²	Site ≥ 4,000m ²																
		Maximum floor area	120m ²	merit-based approach																
		Maximum height	4.8m	merit-based approach																
		Minimum front setback	Behind the front building line of the dwelling	15m																
		Minimum side boundary and rear setback	5m	5m																
Colour scheme	Consistent with the existing character of the area.	Consistent with the existing character of the area.																		
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Minimum side boundary and rear setback	5m	5m																		
Colour scheme	Consistent with the existing character of the area.	Consistent with the existing character of the area.																		
Note: SEPP (Exempt and Complying Development Codes) 2008, Subdivision 9 Cabanas, cubby house, ferneries, garden sheds, gazebos and greenhouses generally classifies a shed to a maximum floor area of 50m ² in a RU1, RU2, RU3, RU4, RU6 or R5 zone to be exempt development																				
C4.47	Sheds (Rural)	Development in a rural zone adheres to a: <ul style="list-style-type: none"> • minimum 10m side boundary and rear setback; • minimum 5m setback from another building; and • colour scheme consistent with the existing character of the area. Note: SEPP (Exempt and Complying Development Codes) 2008, Subdivision 9 Cabanas, cubby house, ferneries, garden sheds, gazebos and greenhouses generally classifies a shed to a maximum floor area of 50m ² in a RU1, RU2, RU3, RU4, RU6 or R5 zone to be exempt development																		
C4.48	Swimming Pools	The water edge must be setback at least 1m from the side and rear boundaries																		
C4.49		Maximum decking height of 1.4m in height if the pool is located more than 600mm above the ground level (finished)																		
C4.50	Front (Including Forward of the Building Line)	Maximum height of 1.2m and is not of solid infill construction																		
C4.51		Maximum height of 1.5m along main roads and secondary street frontages																		
C4.52		Compatible with street facilities, such as mailboxes, and allow easy access to public utilities																		
C4.53	Side and Rear Fences	Maximum height of 1.8m																		
C4.54		Side fences must not encroach on the front setback area of																		

C4

DWELLING HOUSE, SECONDARY DWELLING, DUAL OCCUPANCY OR ANCILLARY STRUCTURES

		any dwelling
C4.55		Solid sheet fencing is not be used
C4.56		Fences within the root zone of an existing tree must be constructed of light weight suspended panels supported by posts with pier footings
C4.57	Retaining Walls	Maximum height of 1m
C4.58		Masonry construction within 0.9m of the property boundary when greater than 0.6m in height
C4.59		Retaining walls are wholly contained within the site
C4.60	Shipping Containers	Shipping containers are to be sited behind existing buildings, not be located in front of the established or proposed building line and be screened from view from any adjoining property.
C4.61		The total number of shipping containers for residential accommodation development must not exceed more than 2 per lot.
C4.62		Shipping containers are to be placed at ground level only and may not be stacked on top of another shipping container.

Figure CH: **Dwelling House** Building Envelope



C5 Multi Dwelling Housing or Seniors Housing

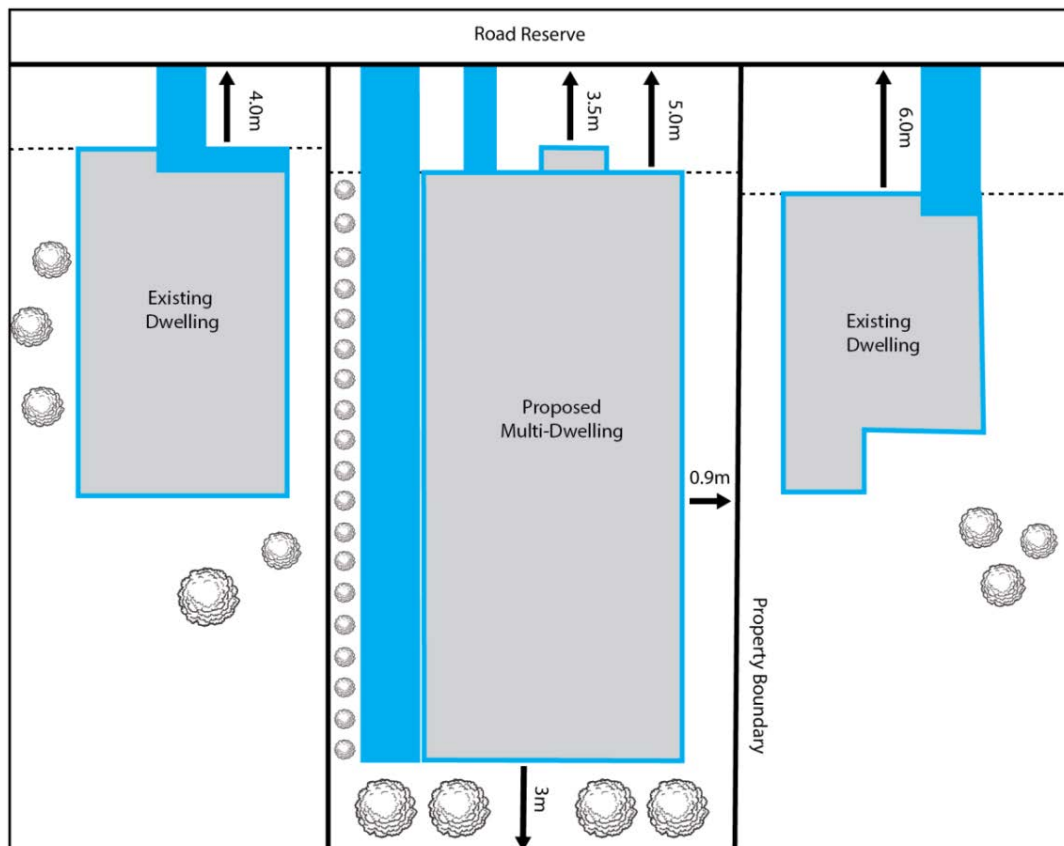
Application
<p>This Part applies to development that is defined as multi dwelling housing or seniors housing</p> <p>Note: Development defined as a residential flat building refers to SEPP No 65 – Design Quality of Residential Apartment Development</p>

Objectives		
C5.A	Landscaping	<ul style="list-style-type: none"> To enhance the appearance and amenity of developments through the retention and/or planting of large and medium sized trees. To encourage landscaping between buildings for screening. To ensure landscaped areas are consolidated and maintainable spaces that contribute to the open space structure of the area. To add value and quality of life for residents and occupants within a development in terms of privacy, outlook, views and recreational opportunities. To reduce energy consumption through microclimate regulation To reduce air borne pollution by reducing the heat island effect To intercept stormwater to reduce stormwater runoff
Requirements		
C5.1	Landscaping Coverage	<p>Landscape area is provided as follows:</p> <ul style="list-style-type: none"> 15% of the site area consisting of deep soil planting where the lot is equal to or less than 250m² and zoned R1 – General Residential or R2 – Low Density Residential; or 20% of the site area consisting of deep soil planting where the lot is greater than 250m² and zoned R1 – General Residential or R2 – Low Density Residential; or 10% of the site area consisting of deep soil planting when the site is zoned R3- Medium Density Residential or B4 – Mixed Use; and <p>Note: The canopy coverage of specimen trees can be used to calculate deep soil landscaping</p> <ul style="list-style-type: none"> 50% of the landscaped area must be located behind the building line to the primary road; and 30% shading over uncovered car park areas
C5.2	Landscaping Dimensions	To be counted as part of the total landscaping coverage the landscaped area must be at least 1.5m wide and 3m long.
C5.3	Landscaping Qualities	<p>Landscaping is in accordance with the following:</p> <ul style="list-style-type: none"> Landscape works incorporate adequate screening from the street and adjacent neighbours.

		<ul style="list-style-type: none"> • Corner lots provide landscaping to both street frontages. • Front boundary structures (e.g. fencing and retaining walls) provide visual relief with the use of landscape planting. • Structural soil and/or structural cells should be used to reduce competition between specimen trees and infrastructure • Street trees are to be within the footpath, verge or in the parking lane and be consistent with the Port Stephens Council tree technical specification¹
Objectives		
C5.B	Height	<ul style="list-style-type: none"> • To ensure building height is appropriate for the context and character of the area. • To ensure building heights reflect the hierarchy of centres and land use structure. • To ensure ceiling heights achieve sufficient ventilation and daylight access. • To ensure ceiling heights increase the sense of space and provides for well-proportioned rooms. • To ensure ceiling heights contribute to the flexibility of building use over the life of the building.
Requirements		
C5.4	Building Height	<p>Maximum height limit of 8m or a merit-based approach is taken where no height limit is specified under the Local Environmental Plan clause 4.3</p> <p>Note: C2.4 requires a minimum first floor and above ceiling height for residential accommodation in a commercial zone of 2.7m</p>
C5.5	Floor to Ceiling Height	Minimum floor to ceiling heights of 2.4m
Objective		
C5.C	Setbacks	<ul style="list-style-type: none"> • To ensure development provides continuity and consistency to the public domain. • To ensure adequate space between buildings to enable effective landscaping. • To alleviate impacts on amenity including privacy, solar access, acoustic control and natural ventilation. • To reduce the visual bulk of buildings from the street. • To maintain the rhythm and built form on the street.
Requirements		
C5.6	Front Setback	<p>Minimum 4.5m front setback from the front property line or the existing average building line for 75% of the building façade.</p> <p>The remaining 25% of the façade may allow a 2m encroachment provided the encroachment contains habitable rooms, terraces, balconies or bay windows.</p>
C5.7		Podium structures and basement car parks are not to be within the front setback area

C5.8		Setback areas area not to be used for at grade parking.
C5.9		Minimum 5.5m front setback from the front property line for a garage to enable a parked car to be situated in front of the garage.
C5.10	Secondary Setback (Corner Lots)	Minimum 3m secondary setback , except for an open veranda, porch or deck which must be setback a minimum of 2m
C5.11	Side Setbacks	Minimum 0.9m side boundary setback for any part of a building at or below 5.5m in height
C5.12		Minimum 3m side boundary setback for any part of a building above 5.5m in height
C5.13		<p>Despite the above requirements, a dwelling may be built to a side boundary if within a commercial zone or the zone R3 – Medium Density Residential, if the following is achieved:</p> <ul style="list-style-type: none"> • The maximum wall height is 6m and the maximum wall length is 6m and there will be no impact on privacy, use of private open space and solar access for adjoining properties unless these properties have approval/are proposed for medium density residential. • Wall openings comply with the fire resistance levels of the BCA. • The wall height and length match a similarly constructed wall on the adjoining site.

Figure C1: Ground level (finished) setbacks for the existing average building line



Note: The Figure C1 demonstrates application of the formula: $C = (A + B)/2$

C5.14	Rear Setbacks	For the ground level (finished) , rear setback must not exceed whichever of the following is greater: <ul style="list-style-type: none"> • Minimum 3m from the rear boundary, or • 25% of the average of the length of the side boundaries.
C5.15		Minimum 4m rear setback for the upper levels.
C5.16		Despite the above requirements, development may be built to the rear boundary on lots that have rear lane access.
C5.17		Podium structures and basement car parks are not to be placed in the rear setback area.
C5.18	Driveway Setback	Minimum 0.9m side boundary setback to provide for landscaping, which can be included in calculations.

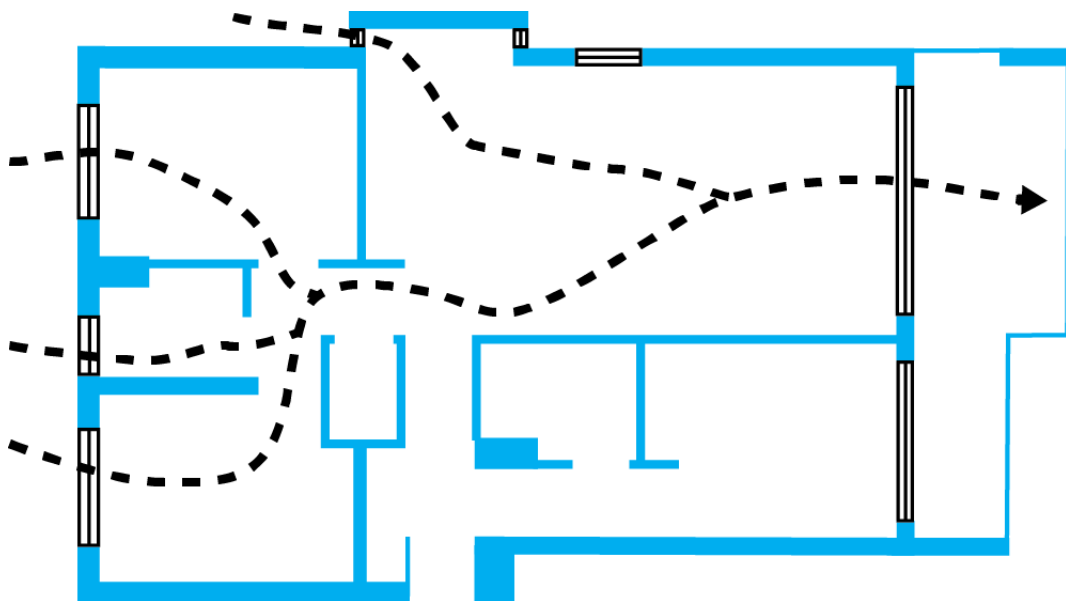
Objectives

C5.D	Natural Ventilation	<ul style="list-style-type: none"> • To ensure all habitable rooms are naturally ventilated. • To ensure a comfortable indoor environment is created for residents.
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Requirements

C5.19	Natural Ventilation	The buildings orientation maximises capture and use of prevailing breezes for natural ventilation in habitable rooms .
C5.20		Depths of habitable rooms support natural ventilation.
C5.21		Doors and openable windows maximise natural ventilation opportunities by using the following design solutions: <ul style="list-style-type: none"> • Adjustable windows with large effective openable areas; • A variety of window types that provide safety and flexibility such as awnings and louvres; and • Windows which the occupants can reconfigure to funnel breezes into the dwelling such as vertical louvres, casement windows and externally opening doors.

Figure CJ: Cross-Ventilation

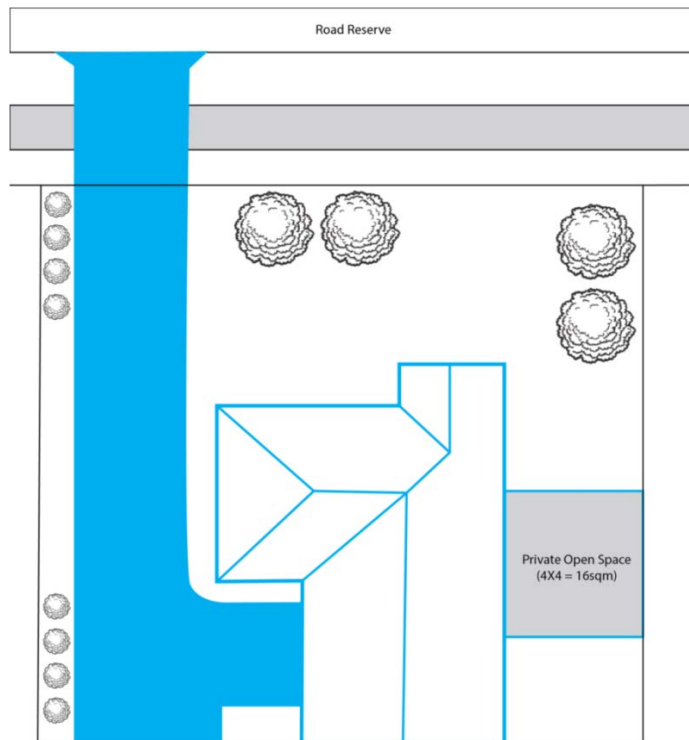


Objective		
C5.E	Streetscape and Privacy	To ensure development activates streetscape to provide passive surveillance and privacy
Requirements		
C5.22	Access	Dwellings that have street frontage provide direct and legible pedestrian access from the street to the front entry. Note: Development should have consideration for the Port Stephens Pathways Plan.
C5.23	Openings	The front door entrance of each dwelling must be sheltered and be located forward of the designated car parking space
C5.24		Windows and walls are located to avoid noise sources from adjacent lots and streets
C5.25		Windows on the second floor considers impacts on the privacy or amenity of neighbouring buildings
C5.26		Privacy screens , high-light windows or opaque glass is to be used for windows of habitable rooms (other than bedrooms) which overlook adjoining properties.
C5.27	Colour Schemes	Building colours should adopt a colour scheme to express building massing, articulation and detailed façade elements
C5.28	Corner Lots	Development on a corner lot has one or more dwellings facing each street frontage.
C5.29	Façade	The façade of each dwelling within a building should be identifiable as such to indicate that the building consists of separate dwellings . Subtle changes provide individuality between the proposed dwellings while seeking to maintain pattern continuity of the overall building.
C5.30		Unbroken roof ridgelines should not exceed 10m in length and blank walls without a window should not exceed 5m in length.
C5.31		The dwelling with street frontage provides a recognisable pedestrian entry point from the street.
C5.32	Privacy	Balconies, terraces and decks must include privacy screens where they face onto side boundaries or are orientated to avoid direct overlooking onto adjoining lots.
Objectives		
C5.F	Noise	<ul style="list-style-type: none"> To minimise noise transfer through the siting of buildings and building layout To ensure noise impacts are mitigated within units through layout and acoustic treatments
Requirements		
C5.33	Noise	Window and door openings are generally oriented away from noise sources
C5.34		Noisy areas within buildings including building entries and corridors should be located next to or above each other and quieter areas next to or above quieter areas
C5.35		Storage, circulation areas and non-habitable rooms should be located to buffer noise from external sources

C5.36		The number of part walls (a common wall shared with another dwelling) are limited and are appropriately insulated
Objectives		
C5.G	Car Parking and Garages	<ul style="list-style-type: none"> To ensure car parking caters for anticipated vehicle movements to and from the development and does not adversely impact on building articulation. To ensure vehicular access has minimal impacts on neighbouring dwellings. To ensure that vehicular access points and parking is safe and convenient for residents, visitors and service providers.
Requirements		
C5.37	Driveway Width and Access	Where a common driveway is to be provided it is to have a minimum width of 3.6m
C5.38		Where a common driveway is not provided and individual driveways connect to the street, the garage is to be setback 5.5m to allow for a parked car to be situated in front of the driveway door.
C5.39		Visual impact of long driveways should be minimised through changing alignments and screen planting
C5.40		Traffic calming devices, such as changes in paving material or textures, should be used where appropriate.
C5.41		<p>Pedestrian and vehicle access should be separated and distinguishable. Design solutions may include:</p> <ul style="list-style-type: none"> changes in surface materials; level changes; the use of landscaping for separation.
Objective		
C5.H	Private Open Space	To ensure private open space with solar access is provided to allow the opportunity for passive and active outdoor recreation
Requirements		
C5.42	Private Open Space Dimensions	<p>Minimum of 16m² of ground floor private open space for each dwelling containing one or two bedrooms that:</p> <ul style="list-style-type: none"> has minimum dimensions of 4m x 4m; has direct access from internal living areas; is not located within a front setback; and has a northerly aspect.
C5.43		<p>Minimum area of 25m² of ground floor private open space for each dwelling containing three or more bedrooms that:</p> <ul style="list-style-type: none"> has minimum dimensions of 4m x 4m; has direct access from internal living areas; is not located within a front setback; and has a northerly aspect.

C5.44		Where development cannot provide private open space on the ground floor, provisions shall be made for a balcony of not less than 16m ² with a minimum width of 2.4m and minimum depth of 1.5m for the use as private open space
C5.45	Private Open Space Dimensions for Seniors Housing	Despite the above requirements, ground floor private open space for each dwelling in development for seniors housing may be reduced to a minimum area of 9m ² and minimum dimensions of 3m x 3m
C5.46	Solar Access	Minimum of two hours sunlight to the private open space area between the hours of 9am-3pm midwinter
C5.47		Minimum of 50% of private open space of adjoining dwellings is not affected by any shadow for a minimum of three hours between 9am-3pm mid-winter
Objective		
C5.1	Site facilities and services	To ensure development provides appropriate facilities and services in the most appropriate site location
Requirements		
C5.48	Equipment	Equipment, such as water tanks, pool pumps and air conditioners, are to be located and shielded to minimise the impact of noise on adjoining dwellings
C5.49	Waste Storage	Adequately screened waste storage and recycling area are to be provided behind the building line or setback of a dwelling
C5.50	Mail boxes	Mail boxes are adjacent to the major entrance
C5.51	Street Numbers	Street/unit numbers are identifiable from the street
C5.52	Clothes Drying	A suitable open-air area for clothes drying is to be provided for each dwelling behind the building line or setback with a northerly aspect
C5.53	Site Facilities & Services	The provision of electricity and gas for new dwellings should be provided underground.
C5.54	Storage	In addition to storage in kitchens, bathrooms and bedrooms, the following storage is to be provided: <ul style="list-style-type: none"> • 6m³ for one bedroom units • 8m³ for two bedroom units • 10m³ for three or more bedroom units

Figure CK: Private open space requirements for one or two bedroom dwellings.



Note: *Dwellings* containing three or more bedrooms must provide a minimum **private open space** area of 25m²

Objective

C5.J	Additional Requirements for Seniors Housing	<ul style="list-style-type: none"> To establish additional requirements for seniors housing development To ensure development for seniors housing provides adequate area for communal open space To provide communal open space within seniors housing development that is accessible from dwellings and promotes interaction between residents To allow a merits based assessment of communal open space dependant on the quality of facilities, accessibility, furniture, and landscaping and feature elements To ensure adequate community facilities are provided for residents in seniors housing development
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Requirements

C5.55	Communal Open Space	<p>Development for seniors housing must provide communal open space that:</p> <ul style="list-style-type: none"> has a minimum area equal to 25% of the site or a merit-based approach; is clearly identifiable and easily accessible to all residents; is overlooked by windows of habitable rooms; incorporates a landscaped area between 10% and 25% of the total communal open space area. Landscaped areas should be vegetated with native species; provides seating areas connected to dwellings by a continuous sealed pathway according with AS 1428.1 – Design for access and mobility;
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		<ul style="list-style-type: none"> contains ornamental features such as sculptures, ponds, water features, art work and the like; and provides a barbeque area for development of 20 or more dwellings.
C5.56	Community Facilities	<p>Community facilities such as common rooms, libraries, gyms and the like are to facilitate use by on-site residents and should comply with the following:</p> <ul style="list-style-type: none"> A minimum floor to ceiling height of 3m; Be accessible from common areas; Be serviced by a minimum of three on-site car parking spaces or spaces provided at a rate of one space per twenty dwellings, whichever is the greater; and Meet enhanced access and mobility requirements of AS 1428.2 – Design for access and mobility.
C5.57		Outdoor community or common facilities/spaces are to meet the requirements of AS1428.1 and are to include accessible access options such as ramps or lifts into swimming pools .
C5.58		Where dwelling s are serviced by contractors such as cleaners, rubbish collectors or the like, storage and support structures may be centralised.

C6 Home Business or Home Industry

Application		
This Part applies to development that is defined as home business or home industry		
Objective		
C6.A	Operational Requirements	To ensure operating hours do not adversely impact on residential amenity
Requirements		
C6.1	Hours of Operation	Hours of operation merit-based or considered: <ul style="list-style-type: none"> • Monday to Friday, 8am-6pm • Saturday, 9am-12pm • Sunday or Public Holidays, not allowed to operate <ul style="list-style-type: none"> - Hours of operation may be further restricted depending on the location and nature of the development
C6.2	Goods Storage	Storage of goods or equipment must be contained within the confines of the building
Objective		
C6.B	Vehicle Repair and Trucking Operations	To ensure adequate consideration is given to the impacts of vehicle repair operations on neighbourhood amenity
Requirements		
C6.3	Vehicles and Trailers	A maximum of two vehicles or trucks associated with the operation of the home business or home industry may be kept on the site at any one time
C6.4		Only one trailer per truck is permitted
C6.5	Vehicle Storage	Vehicle storage areas are located behind the building line

C7 Restricted or Sex Services Premises

Application		
This Part applies to development that is defined as restricted premises or sex services premises		

Objective – Restricted Premises		
C7.A	Building Entries	To provide clear direction to access points and ensure they are appropriately located
Requirements – Restricted Premises		
C7.1	Building Entries	The building entrance should be located 400m from: <ul style="list-style-type: none"> • a dwelling on land zoned residential; • a child care centre, community facility, education establishment, hospital or place of public worship; and • another restricted premises
C7.2		Building Entrance must be discrete and unobtrusive
Objective – Restricted Premises		
C7.B	Signage	To ensure signage provides identification to a premises in a manner that is discrete and complimentary to the streetscape
Requirement – Restricted Premises		
C7.3	Offensive Content	The business identification sign is to be devoid of sexually explicit images, language or objects

Objectives – Sex Services Premises		
C7.C	Design of Premises	<ul style="list-style-type: none"> • To provide clear direction to access points and ensure they are most appropriately located • To ensure the privacy and comfort of patrons • To protect children from risk of harm • To maximise the safety and security of staff, clients and the general public by upholding principles of Crime Prevention through Environmental Design (CPTED)
Requirements – Sex Services Premises		
C7.4	Building Entries	The building entrance should be: <ul style="list-style-type: none"> • located 150m from a dwelling on land zoned residential; • located 200m from a child care centre, community facility, educational establishment or recreational area; and • designed so that there is only one entrance to the premises located at the front of the building <p>Note: The Local Environmental Plan may also provide higher order guidance as to the location of sex services premises</p>
C7.5		Duress Alarm

C7.6	Reception Area	The premises is to be provided with an adequate reception area/waiting room with a minimum area of 20m ² to prevent clients from loitering outside
C7.7	Maximum Rooms	No more than five rooms are to be provided in which acts of prostitution are to take place
C7.8	Staff Facilities	Staff facilities must include a communal lounge or rest area and a bathroom for staff use only
C7.9	Toilet and Bathroom Facilities	Toilet and bathroom facilities must be provided within the premises and not be shared with any other premises within the building
C7.10	Noise	<p>Sex services premises must be designed to minimise noise transmission, measures include:</p> <ul style="list-style-type: none"> • Grouping room uses according to the noise level generated • Using storage or circulation zones within the premises to buffer noise from adjacent apartments, mechanical equipment or corridors and lobby areas • Incorporating appropriate noise shielding or attenuation techniques into the design of the building where appropriate
Objective – Sex Services Premises		
C7.D	Signage	To ensure signage provides identification to a premises in a manner that is complimentary to streetscape
Requirement – Sex Services Premises		
C7.11	Offensive Content	A business identification sign is to be devoid of sexually explicit images, language or objects

C8 Signage

Application		
This Part applies to development that is defined as signage		
Objective		
C8.A	General	To ensure signage is complimentary to its surroundings
Requirements		
C8.1	Local Environmental Plan	The Local Environmental Plan Schedule 2 Exempt Development details what signage is defined as exempt development
C8.2	Integration	Signage is integrated with the building facade
C8.3	Types of Signage	<p>The following types of signage are generally not supported:</p> <ul style="list-style-type: none"> • Flashing signs • Roof signs • Vehicular signs where the primary use of the vehicle is for advertising. • Above awning signs • Anchored balloons or airborne signs • Inflatable signs • Hoarding signs <p>Note: Flashing signs may be permitted in the road reserve if the text is a road safety message</p>